

**AMENDED – BILL 6412-16 WAS AMENDED**

**TENTATIVE AGENDA**

**RAYTOWN BOARD OF ALDERMEN**

**AUGUST 16, 2016**

**REGULAR SESSION No. 33**

**RAYTOWN CITY HALL**

**10000 EAST 59<sup>TH</sup> STREET**

**RAYTOWN, MISSOURI 64133**

**OPENING SESSION**

**7:00 P.M.**

Invocation  
Pledge of Allegiance  
Roll Call

Proclamations and Presentations

- ★ Proclamation recognizing Liz Kelley-Hansen

Public Comments

Communication from the Mayor

Communication from the City Administrator

Committee Reports

**LEGISLATIVE SESSION**

**1. CONSENT AGENDA**

All matters listed under the Consent Agenda are considered to be routine by the Board of Aldermen and will be enacted by one motion without separate discussion or debate. The Mayor or a member of the Board of Aldermen may request that any item be removed from the consent agenda. If there is no objection by the remaining members of the board, such item will be removed from the consent agenda and considered separately. If there is an objection, the item may only be removed by a motion and vote of the board.

Approval of the Regular August 9, 2016 Board of Aldermen meeting minutes.

**R-2898-16: A RESOLUTION** AUTHORIZING AND APPROVING THE REAPPOINTMENT OF DANIELLE MILES TO THE RAYTOWN PARK BOARD. Point of Contact: Teresa Henry, City Clerk.

**R-2899-16: A RESOLUTION** AUTHORIZING AND APPROVING THE APPOINTMENT OF DAVID THURMAN TO THE RAYTOWN PARK BOARD. Point of Contact: Teresa Henry, City Clerk.

**R-2900-16: A RESOLUTION** AUTHORIZING AND APPROVING THE APPOINTMENT OF ROBBIE TUBBS TO THE RAYTOWN PARK BOARD. Point of Contact: Teresa Henry, City Clerk.

**REGULAR AGENDA**

**2. REPORT OF CERTIFIED ELECTION RESULTS FOR THE AUGUST 2, 2016 ELECTION.**

- ★ A motion and vote to accept the certified election results as read by the City Clerk is in order.

3. Public Hearing: A public hearing to consider a Conditional Use Permit on property located at 6709 Raytown Road.
  - 3a. **SECOND READING: Amended Bill No. 6412-16, Section XIII. AN ORDINANCE GRANTING A CONDITIONAL USE PERMIT SUBJECT TO CERTAIN CONDITIONS TO ALLOW A FUELING STATION AT 6709 RAYTOWN ROAD IN RAYTOWN, MISSOURI.** Point of Contact: Ray Haydaripoor, Acting Development & Public Affairs Director.
4. **FIRST READING: Bill No. 6416-16, Section XIII. AN ORDINANCE GRANTING APPROVAL OF THE SITE PLAN FOR A RETAIL STORE ON LAND LOCATED AT 9109 EAST 63RD STREET IN ACCORDANCE WITH THE PROVISIONS OF THE COMPREHENSIVE ZONING REGULATIONS FOR THE CITY OF RAYTOWN, MISSOURI.** Point of Contact: Ray Haydaripoor, Acting Development & Public Affairs Director.
5. **FIRST Reading: Bill No. 6417-16, Section XIII. AN ORDINANCE AMENDING CHAPTER 50, SECTION 50-38 OF THE CITY OF RAYTOWN CODE OF ORDINANCES RELATING TO THE ESTABLISHMENT AND MEMBERSHIP OF THE PLANNING COMMISSION.** Point of Contact: Teresa Henry, City Clerk.

### **CLOSED SESSION**

**Notice is hereby given that the Mayor and Board of Aldermen may conduct a closed session, pursuant to the following statutory provisions:**

- 610.021(1) Legal actions, causes of action or litigation involving a public governmental body and any confidential or privileged communications between a public governmental body or its representatives and its attorneys;

### **ADJOURNMENT**

Next Ordinance No.: 5551-16



## PROCLAMATION

**WHEREAS**, Liz Kelley-Hansen, a resident of Raytown, has devoted her life to ballet, jazz, and modern dance; and

**WHEREAS**, she has performed with the Starlight Theatre, Gene Kelly, Dean Martin's Goldiggers, and many other stars;

**WHEREAS**, Liz taught at the Westport Ballet Company, American Dance Center and the Jewish community Center, after which she founded Dance Studio 1, where she has inspired countless young ones in the art of dance, providing them with a spirit of achievement and confidence; and

**WHEREAS**, on July 23 23 of this year, Liz received a long overdue award from the Vietnam Veterans of America at its National Leadership and Educational Conference in Arizona for entertaining our troops in Vietnam when she traveled with Bob Hope USO Christmas Show.

**NOW, THEREFORE**, I, Michael McDonough, Mayor of the City of Raytown, Missouri, do hereby recognize

### **Liz Kelley-Hansen**

and offer my congratulations for a job well done and for making such a difference in other people's lives.

Signed this Sixteenth Day of August, in the Year Two Thousand and Sixteen.

---

Michael McDonough, Mayor

**DRAFT**  
**MINUTES**  
**RAYTOWN BOARD OF ALDERMEN**  
**AUGUST 9, 2016**  
**REGULAR SESSION No. 32**  
**RAYTOWN CITY HALL**  
**10000 EAST 59<sup>TH</sup> STREET**  
**RAYTOWN, MISSOURI 64133**

**OPENING SESSION**  
**7:00 P.M.**

Mayor Michael McDonough called the July 19, 2016 Board of Aldermen meeting to order at 7:03 p.m. Pastor James Fuller of Ivanhoe United Church of Christ Raytown provided the invocation and led the pledge of allegiance.

**Roll Call**

The roll was called and the attendance was as follows:

Present: Alderman Karen Black, Alderman Josh Green, Alderman Jim Aziere, Alderman Jason Greene, Alderman Janet Emerson, Alderman Mark Moore, Alderman Steve Meyers, Alderman Bill Van Buskirk, and Alderman Eric Teeman  
Absent: None

**Proclamations and Presentations**

- ★ Proclamation recognizing Steve Guenther
- ★ Proclamation recognizing Israel Hanke

**Public Comments**

Chelsi Mock asked permission to plant a cherry blossom tree in honor of her father, Steve Mock, in front of the City Hall. She stated the tree would be paid for through donations and her family would plant the tree.

**Communication from the Mayor**

Mayor McDonough stated that on Saturday, July 30, he attended a fund raiser which was held for the Main Street Association to help buy LED Christmas lights for the streetscape downtown. Along with an auction held a few weeks earlier, \$12,000 was raised. To donate, see April Harrington at the Irish Pub, Sue Frank at State Farm on 63<sup>rd</sup> Street, or Pam Clark at Clark's Appliances on 63<sup>rd</sup> Street. The Mayor stated that the city also has 2 new businesses, Fiesta Azteca and Breakfast and Lunch Lover's Restaurant. He also wanted everyone to know that the new QuikTrip is also about to open. Raytown Schools will open on Monday, August 15.

**Communication from the City Administrator**

Mark Loughry, Interim City Administrator stated a conditional offer of employment was offered for a new Economic Development Director, who is scheduled to start August 22. He also stated that the building at 7611 Woodson has been demolished and the lot was in the process of getting cleaned up.

**Committee Reports**

Alderman Janet Emerson noted that on August 22, the Legislative Update Luncheon for the Chamber of Commerce will meet at 11:00 am at the Raytown Wellness Center. On August 27, the Raytown Arts and Music Festival will take place at Kenagy Park from 12:00 pm to 7:00 pm. On the Legislative Update, you need to register by Monday, August 22. The Senior Celebration for the Chamber on September 24 is sold out.

## STUDY SESSION

Raytown Parks Master Plan  
Kevin Boji, Parks and Recreation Director

## LEGISLATIVE SESSION

### 1. **CONSENT AGENDA**

All matters listed under the Consent Agenda are considered to be routine by the Board of Aldermen and will be enacted by one motion without separate discussion or debate. The Mayor or a member of the Board of Aldermen may request that any item be removed from the consent agenda. If there is no objection by the remaining members of the board, such item will be removed from the consent agenda and considered separately. If there is an objection, the item may only be removed by a motion and vote of the board.

Approval of the Regular July 19, 2016 Board of Aldermen meeting minutes.

Alderman Janet Emerson, seconded by Alderman Mark Moore, made a motion to approve the consent agenda. The motion was approved by a vote of 8-0-1.

Ayes: Aldermen Janet Emerson, Mark Moore, Eric Teeman, Bill Van Buskirk, Steve Meyers, Jason Greene, Jim Aziere, Josh Greene

Nays: None

Abstain: Alderman Karen Black

### REGULAR AGENDA

2. **R-2893-16: A RESOLUTION** AUTHORIZING AND APPROVING THE PURCHASE OF COMPUTER EQUIPMENT AND SUPPLIES FROM DELL MARKETING, L.P. OFF THE MIDWESTERN HIGHER EDUCATION COMMISSION AGREEMENT IN AN AMOUNT NOT TO EXCEED \$19,777.33 FOR FISCAL YEAR 2015-2016. Point of Contact: Jim Lynch, Police Chief.

The resolution was read by title only by Teresa Henry, City Clerk.

Chief Jim Lynch and Captain Doug Goode provided the Staff Report and remained available for discussion.

Discussion included the San server is scheduled for replacement. The Dell pricing included special government pricing. The current server, which is no longer supported by Dell, would be decommissioned and sold at auction.

Alderman Bill Van Buskirk, seconded by Alderman Eric Teeman, made a motion to adopt. The motion was approved by a vote of 9-0.

Ayes: Aldermen Bill Van Buskirk, Eric Teeman, Josh Greene, Jason Greene, Mark Moore, Karen Black, Jim Aziere, Janet Emerson, Steve Meyers

Nays: None

3. **R-2894-16: A RESOLUTION** AUTHORIZING THE AFFIRMATIVE ASSENT OF THE CITY OF RAYTOWN, MISSOURI ON THE QUESTION OF WHETHER LITTLE BLUE VALLEY SEWER DISTRICT SHOULD ISSUE REVENUE BONDS PAYABLE FROM REVENUES TO BE DERIVED FROM THE OPERATION OF THE LITTLE BLUE VALLEY SEWER SYSTEM IN AN AMOUNT NOT TO EXCEED \$20,000,000 FOR THE PURPOSE OF IMPROVING, EXTENDING OR REHABILITATING THE LITTLE BLUE VALLEY SEWER DISTRICT SYSTEM INCLUDING, BUT NOT LIMITED TO ADVANCED AIR EMISSIONS CONTROLS FOR THE ATHERTON WASTEWATER TREATMENT FACILITIES. Point of Contact: Kati Horner Gonzalez, Acting Public Works Director.

Kati Horner Gonzalez, Acting Director of Public Works, provided the Staff Report and remained available for discussion.

Discussion included The Little Blue Valley Sewer District needs approval by resolution from 10 of the 13 customer agencies covered in order to issue these 20- year bonds. Greg Boettcher, Executive Director of the Little Blue Valley Sewer District presented. EPA has changed emission controls, which must be in place by 2020. Optimizations and restructuring have allowed the costs to be covered with no deviation from the 2010 Financial Plan, and will not extend the service contract term. The alternative of sending sludge to a landfill instead of incinerating it would increase costs \$300,000/month in trucking and tipping fees. Costs are allocated in the same way to all customers based on flow projection. Thus far, 4 of the customer agencies have approved.

Alderman Josh Greene, seconded by Alderman Jim Aziere, made a motion to adopt. The motion was approved by a vote of 7-2.

Ayes: Aldermen Josh Greene, Jim Aziere, Jason Greene, Steve Meyers, Janet Emerson, Karen Black, Eric Teeman, Josh Greene

Nays: Aldermen Bill Van Buskirk, Mark Moore

4. **R-2895-16: A RESOLUTION** AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT WITH OLSSON ASSOCIATES FOR THE DESIGN AND CONSTRUCTION SERVICES OF THE 83RD STREET BRIDGE IN AN AMOUNT NOT TO EXCEED \$408,071.96 AND AMENDING THE FISCAL YEAR 2015-2016 BUDGET. Point of Contact: Kati Horner Gonzalez, Acting Director of Public Works.

Katie Horner Gonzalez, Acting Director of Public Works, provided the Staff Report and remained available for discussion.

Discussion included a breakdown of included items. The bridge will be replaced, not renovated. Temporary easements will be required. Public involvement will be crucial, and the school district will be involved. The intent is to avoid shutting down the bridge before school is out. The contract has been reviewed by legal representation as well as public works. We applied for two grants for this project. The grants are reimbursements, and they can be applied to any approved portion of the project. \$600,000 has been requested from STP. While we have been recommended for approval, nothing is finalized, nor will it be until October. \$500,000 has been requested from Missouri Moves Cost Share Program. Everything in the contract is reflective of the grant requirements. If we do not receive the grants, the contract stipulates that we would complete the relevant portions of the contract and would not get billed for the other portions. This project was on schedule to go forward regardless of whether grants are received. Steve Mock was a huge advocate of this bridge, and it was suggested the bridge be named after him.

Alderman Eric Teeman, seconded by Alderman Karen Black, made a motion to adopt. The motion was approved by a vote of 9-0.

Ayes: Aldermen Eric Teeman, Karen Black, Bill Van Buskirk, Josh Greene, Jason Greene, Mark Moore, Jim Aziere, Steve Meyers, Janet Emerson

Nays: None

5. **R-2896-16: A RESOLUTION** AUTHORIZING AND APPROVING THE EXPENDITURE OF FUNDS FOR THE PARK MASTER PLAN WITH PROS CONSULTING, INC. IN AN AMOUNT NOT TO EXCEED \$29,172.37 AND AMENDING THE FISCAL YEAR 2015-2016 BUDGET. Point of Contact: Kevin Boji, Parks and Recreation Director.

Kevin Boji, Parks & Recreation Director, provided the Staff Report and remained available for discussion.

Discussion included the budget was scheduled to be paid over two fiscal years. The reason for the need for additional funds is we underspent in the first year and these costs are coming due in the second year of the project. Total costs are currently under budget. Fifteen percent was set aside for unexpected contingencies, and thus far there have been none.

Alderman Bill Van Buskirk, seconded by Alderman Steve Meyers, made a motion to adopt. The motion was approved by a vote of 9-0.

Ayes: Aldermen Bill Van Buskirk, Steve Meyers, Janet Emerson, Mark Moore, Karen Black, Jason Greene, Josh Greene, Jim Aziere, Eric Teeman

Nays: None

6. **R-2897-16: A RESOLUTION** AUTHORIZING AND APPROVING A MARKET ADJUSTMENT TO THE CITY OF RAYTOWN PARAMEDIC AND EMERGENCY MEDICAL TECHNICIAN WAGE SCALES AND AMENDING THE FISCAL YEAR 2015-2016 BUDGET. Point of Contact: Doug Jonesi, Emergency Medical Services Director.

Doug Jonesi, EMS Director, provided the Staff Report and remained available for discussion.

Discussion included there has been an increase in turnover in recent years, and Raytown is the lowest paid EMS in the region. Increasing the wages will allow us to attract and retain candidates, as well as improve morale. The department has been understaffed for some time, causing an increased reliance on the Kansas City Fire Department. We had to rely on Kansas City Fire Department 337 times last year. This both adds to our cost and increases the response time. We recently approved a 3<sup>rd</sup> ambulance but don't have the ability to staff it. There are some structural changes that need to take place. We are not only the lowest paid, we are significantly lower than the next highest city. The proposal would take us half way up the scale. In comparison, the police department budget went from four million to eight million in the past fifteen years. A budget retreat is scheduled for August 30. We get 4400 emergency calls each year.

Three alternative options were discussed in the Finance Committee. EMS is funded in part by the fees that we generate. However, in the past when rates were increased, we billed more but were not able to collect more. Thus, this would not offset the increase in costs. Another option is privatization, which seems to be working well for Independence. The third option is merging services with the Fire Department. There have been discussions about mergers repeatedly over the past 30 years. The Fire District is not part of our city; it is a separate entity, run by its own board. The proposal they made to merge services had a lot of problems which made it untenable; it had elements that were not good for our citizens or our city. However, the idea of a merger, if a reasonable proposal is made, is a good one. Most communities have services either merged with the Fire Department or private services.

Mr. Loughry stated that the rate increase will not satisfy all the present needs in the department and while the proposal to increase salaries is a good one, we cannot fund it without cutting services somewhere else. The budget is not able to sustain this increase, and it will shorten the amount of time the current system is viable. Last year's budget was a deficit budget. Our revenue did not go up this year, and the departments have been asked to submit flat budgets. There needs to be some investigation of and dialogue about alternatives.

Alderman Janet Emerson, seconded by Alderman Bill Van Buskirk, made a motion to adopt

Alderman Josh Greene, seconded by Alderman Jim Aziere, made a motion to amend the proposal from a 10% raise to a 15% raise. This motion was approved by a vote of 6-3.

Ayes: Aldermen Josh Greene, Jim Aziere, Mark Moore, Jason Greene, Karen Black, Steve Meyers

Nays: Aldermen Bill Van Buskirk, Janet Emerson, Eric Teeman

Alderman Janet Emerson, seconded by Alderman Bill Van Buskirk, made a motion to adopt. The motion was approved by a vote of 7-2.

Ayes: Aldermen Steve Meyers, Jason Greene, Josh Greene, Mark Moore, Jim Aziere, Karen Black, Eric Teeman

Nays: Aldermen Janet Emerson, Bill Van Buskirk

## **ADJOURNMENT**

Alderman Karen Black, seconded by Alderman Eric Teeman, made a motion to adjourn. The motion was approved by a majority of those present.

The meeting adjourned at 10:42 p.m.

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Teresa Henry, City Clerk

**CITY OF RAYTOWN**  
**Request for Board Action**

**Date:** August 10, 2016  
**To:** Mayor and Board of Aldermen  
**From:** Teresa Henry, City Clerk

**Resolution No.:** R-2898-16

**Department Head Approval:** \_\_\_\_\_

**City Administrator Approval:** \_\_\_\_\_



**Action Requested:** Reappointment of Danielle Miles to the Raytown Park Board.

**Recommendation:** Approve the reappointment.

**Analysis:** The Raytown Park Board was established pursuant to Ordinance 109, which provides for the appointment of nine (9) Park Board Directors appointed by the Mayor with the approval of the Board of Aldermen. The term of the members is for three years and the terms are supposed to be staggered to provide consistent and experienced leadership.

The Raytown Park Board has recommended that Danielle Miles be reappointed to a 3-year term ending on June 1, 2019.

**Alternatives:** Appoint someone else.

**Fiscal Impact:** None.

**Budgetary Impact:** None.

**A RESOLUTION AUTHORIZING AND APPROVING THE REAPPOINTMENT OF DANIELLE MILES TO THE RAYTOWN PARK BOARD**

**WHEREAS**, the Raytown Park Board was established pursuant to Ordinance 109 which provides for the appointment of nine (9) Park Board Directors appointed by the Mayor with the approval of the Board of Aldermen; and

**WHEREAS**, Danielle Miles was originally appointed to the Raytown Park Board on February 18, 2014 to fill an unexpired term; and

**WHEREAS**, the Park Board has recommended and the Mayor desires to reappoint Danielle Miles to a 3-year term on the Raytown Park Board, expiring June 1, 2019 or until a successor is duly appointed; and

**WHEREAS**, the Board of Aldermen find it is in the best interest of the City to approve such appointment as proposed by the Mayor;

**NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:**

**THAT** Danielle Miles, 7213 Hardy Avenue, Raytown, Missouri, is hereby reappointed as a member of the Raytown Park Board to a 3-year term ending June 1, 2019, or until a successor is duly appointed; and

**FURTHER THAT**, this resolution shall be in full force and effect from and after the date of its passage and approval and any resolution in conflict herewith are hereby superseded.

**PASSED AND ADOPTED** by the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Missouri, the 16<sup>th</sup> day of August, 2016.

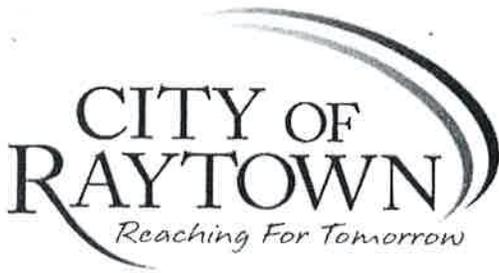
\_\_\_\_\_  
Michael McDonough, Mayor

ATTEST:

\_\_\_\_\_  
Teresa M. Henry, City Clerk

Approved as to Form:

\_\_\_\_\_  
Joe Willerth, City Attorney



RECEIVED

JUL 27 2016

CITY OF RAYTOWN

City of Raytown

Boards and Commissions Application

Thank you for your interest in serving on one of the City of Raytown Boards and Commissions. Volunteers like you are essential to ensuring that your city government is responsive to the needs of the community.

Please help us place you in the most appropriate Board/Commission by completing this questionnaire.

Date: 07.25.16

Name: Miles Danielle Marie  
Last First Middle

Address: 7213 Hardy Ave Raytown MO 64133  
Street City Zip Code

Contact Information:

816-268-7200 816-213-8518 danielle.miles@raytownschools.org  
Phone: Day Evening Cell Fax E-Mail Address

I want to serve on the Park Board/Commission

Because: I want to partner with city officials to create a park system that meets the recreation needs of all citizens.

My strength(s) on this Board/Commission will be:

Vision - I have an excellent sense of trends and needs in the future.  
Ideas - I am not limited by information. I look for alternatives to solve problems.  
Relationship - I am well connected to families throughout the Raytown community.

Education: Raytown South Raytown MO 06.1995  
High School City/State Date

Park University BA 12.2002  
Trade/College/University Degree Date

Post Graduate: Avila University Masters 05.2006  
University of Central Missouri Education Specialist 06.2011  
College/University Degree Date

**Employment (Maximum 10 years):**

Current: Raytown E-2 School Dist 6608 Raytown Rd Principal  
Employer Address Position

Past: \_\_\_\_\_  
Employer Address Position Dates

Past: \_\_\_\_\_  
Employer Address Position Dates

**Community Involvement:**

Organization	Leadership Position(s)	Membership Date(s)
1. <u>Graceway</u>	<u>various</u>	<u>1996 - present</u>
2. <u>Peace Partnership</u>	<u>Board Member</u>	<u>2013 - 2016</u>
3. <u>Graceway Sports</u>	<u>Coach</u>	<u>2006 - 2015</u>
4. _____	_____	_____
5. _____	_____	_____

**Do you have business or property interests that might place you in a conflict of interest situation should you be appointed to this Board/Commission? If so, please explain.**

NA

**Do you anticipate that there will be times when you will not be able to attend the Board/Commission meeting? If yes, how often do you anticipate this would occur?**

Yes, once or twice if a required school board meeting  
conflicts

**Mail to: Mayor's Office, 10000 East 59<sup>th</sup> Street, Raytown, MO 64133; or FAX: 816-737-6097.**

**CITY OF RAYTOWN**  
**Request for Board Action**

**Date:** August 10, 2016

**Resolution No.:** R-2899-16

**To:** Mayor and Board of Aldermen

**From:** Teresa Henry, City Clerk

**Department Head Approval:** \_\_\_\_\_

**City Administrator Approval:** \_\_\_\_\_



**Action Requested:** The appointment of David Thurman to the Raytown Park Board.

**Recommendation:** Approve the appointment.

**Analysis:** The Raytown Park Board was established pursuant to Ordinance 109, which provides for the appointment of nine (9) Park Board Directors appointed by the Mayor with the approval of the Board of Aldermen. The term of the members is for three years and the terms are supposed to be staggered to provide consistent and experienced leadership.

Mr. Thurman's term will end on June 1, 2019.

**Alternatives:** Reject the appointment.

**Attachment(s):** Application

**A RESOLUTION AUTHORIZING AND APPROVING THE APPOINTMENT OF DAVID THURMAN TO THE RAYTOWN PARK BOARD**

**WHEREAS**, the Raytown Park Board was established pursuant to Ordinance 109 which provides for the appointment of nine (9) Park Board Directors appointed by the Mayor with the approval of the Board of Aldermen; and

**WHEREAS**, a vacancy currently exists on the Raytown Park Board and the Park Board has recommended and the Mayor desires to appoint David Thurman, to fill a vacancy and fulfill the remainder of a three-year term expiring June 1, 2019 or until a successor is duly appointed; and

**WHEREAS**, the Board of Aldermen find it is in the best interest of the City to approve such appointment as proposed by the Mayor;

**NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:**

**THAT** David Thurman, 10500 E. 80<sup>th</sup> Street, Raytown, Missouri, is hereby appointed as a member of the Raytown Park Board to fill a vacancy and fulfill the remainder of a three-year term expiring June 1, 2019, or until a successor is duly appointed;

**PASSED AND ADOPTED** by the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Missouri, the 16<sup>th</sup> day of August, 2016.

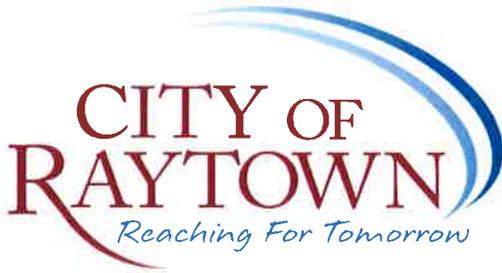
\_\_\_\_\_  
Michael McDonough, Mayor

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Teresa M. Henry, City Clerk

\_\_\_\_\_  
Joe Willerth, City Attorney



City of Raytown

Boards and Commissions Application

Thank you for your interest in serving on one of the City of Raytown Boards and Commissions. Volunteers like you are essential to ensuring that your city government is responsive to the needs of the community.

Please help us place you in the most appropriate Board/Commission by completing this questionnaire.

Date: 7/14/16

Name: Thurman David Harlan
Last First Middle

Address: 10500 E 80th St Raytown MO 64138
Street City Zip Code

Contact Information:

(816) 305-3732 david.h.thurman@comcast.net
Phone: Day Evening Cell Fax E-Mail Address

I want to serve on the Parks Board/Commission

Because: As a long time Raytown resident, I feel that continuing to develop, improve and expand our parks system is an important component in attracting more residents, especially young families, to Raytown thereby strengthening our community. A strong and vibrant parks program also enhances the existing community thus fostering hometown pride.

My strength(s) on this Board/Commission will be:

Organization, logic, willingness to hear all sides and base my decisions on the facts at hand and a background in reaching consensus in a committee setting.

Education: Raytown South High School Raytown, MO 1976
High School City/State Date

Longview Community College AA 1987
Trade/College/University Degree Date

Post Graduate: University of Missouri BS-Political Science 1989
College/University Degree Date

**Employment (Maximum 10 years):**

Current: ReeceNichols RE      1153 NE Rice Rd, Lee's Summit MO 64086      Realtor  
Employer                                      Address                                      Position

Past: Sprint                                      Overland Park, KS                                      Various Posiitons      1991-2013  
Employer                                      Address                                      Position                                      Dates

Past: \_\_\_\_\_  
Employer                                      Address                                      Position                                      Dates

**Community Involvement:**

Organization	Leadership Position(s)	Membership Date(s)
1. <u>Alliance for Telecom Industry Solutions –</u>	<u>Committee Chair and Forum Co-Chair.</u>	<u>1998-2006</u>
2. <u>Boy Scouts of America.</u>	<u>Scoutmaster, Committee Chair, Committee Member.</u>	<u>1993-2004</u>
3. <u>Raytown Sports Association.</u>	<u>Team Coach</u>	<u>1992-2002</u>
4. _____		
5. _____		

**Do you have business or property interests that might place you in a conflict of interest situation should you be appointed to this Board/Commission? If so, please explain.**

Other than the home I own with y wife, I have no other property interests in Raytown As a licensed Realtor, from time to time, I represent clients who wish to sell their Raytown home or buyers who wish to purchase a home in Raytown.

**Do you anticipate that there will be times when you will not be able to attend the Board/Commission meeting? If yes, how often do you anticipate this would occur?**

As a Realtor, I set my own schedule and therefore do not anticipate any job related conflicts

**Mail to: Mayor's Office, 10000 East 59<sup>th</sup> Street, Raytown, MO 64133; or FAX: 816-737-6097.**

**CITY OF RAYTOWN**  
**Request for Board Action**

**Date:** August 10, 2016

**Resolution No.:** R-2900-16

**To:** Mayor and Board of Aldermen

**From:** Teresa Henry, City Clerk

**Department Head Approval:** \_\_\_\_\_

**City Administrator Approval:** \_\_\_\_\_



**Action Requested:** The appointment of Robbie Tubbs to the Raytown Park Board.

**Recommendation:** Approve the appointment.

**Analysis:** The Raytown Park Board was established pursuant to Ordinance 109, which provides for the appointment of nine (9) Park Board Directors appointed by the Mayor with the approval of the Board of Aldermen. The term of the members is for three years and the terms are supposed to be staggered to provide consistent and experienced leadership.

Ms. Tubbs term will end on June 1, 2019.

**Alternatives:** Reject the appointment.

**Attachment(s):** Application

**A RESOLUTION AUTHORIZING AND APPROVING THE APPOINTMENT OF ROBBIE TUBBS TO THE RAYTOWN PARK BOARD**

**WHEREAS**, the Raytown Park Board was established pursuant to Ordinance 109 which provides for the appointment of nine (9) Park Board Directors appointed by the Mayor with the approval of the Board of Aldermen; and

**WHEREAS**, a vacancy currently exists on the Raytown Park Board and the Park Board has recommended and the Mayor desires to appoint Robbie Tubbs to fill a vacancy and fulfill the remainder of a three-year term expiring June 1, 2019 or until a successor is duly appointed; and

**WHEREAS**, the Board of Aldermen find it is in the best interest of the City to approve such appointment as proposed by the Mayor;

**NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:**

**THAT** Robbie Tubbs, 7405 Willow, Raytown, Missouri, is hereby appointed as a member of the Raytown Park Board to fill a vacancy and fulfill the remainder of a three-year term expiring June 1, 2019, or until a successor is duly appointed;

**PASSED AND ADOPTED** by the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Missouri, the 10<sup>th</sup> day of August, 2016.

\_\_\_\_\_  
Michael McDonough, Mayor

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Teresa M. Henry, City Clerk

\_\_\_\_\_  
Joe Willerth, City Attorney



City of Raytown

Boards and Commissions Application

Thank you for your interest in serving on one of the City of Raytown Boards and Commissions. Volunteers like you are essential to ensuring that your city government is responsive to the needs of the community.

Please help us place you in the most appropriate Board/Commission by completing this questionnaire.

Date: 7/11/16

Name: Tubbs Robbie
Last First Middle

Address: 7405 Willow Raytown MO 64138
Street City Zip Code

Contact Information:

(816) 392-2459 r.tubbs@sbcglobal.net
Phone: Day Evening Cell Fax E-Mail Address

I want to serve on the Park Board/Commission

Because: We have beautiful parks in Raytown and I would like to help maintain them.

My strength(s) on this Board/Commission will be:

Resident of Raytown for 18 years. I use and enjoy the parks every week..

Education: East High School Kansas City, MO
High School City/State Date

Sterling College, Kansas City, MO Bachelors of Business Administration
Trade/College/University Degree Date

Post Graduate:
College/University Degree Date

**Employment (Maximum 10 years):**

**Current:** Eagle Materials Kansas City, MO Staff Accountant  
**Employer** **Address** **Position**

**Past:** Mobile Hydraulics Office Manager  
**Employer** **Address** **Position** **Dates**

**Past:** \_\_\_\_\_  
**Employer** **Address** **Position** **Dates**

**Community Involvement:**

	<b>Organization</b>	<b>Leadership Position(s)</b>	<b>Membership Date(s)</b>
1.	_____	_____	_____
2.	_____	_____	_____
3.	_____	_____	_____
4.	_____	_____	_____
5.	_____	_____	_____

**Do you have business or property interests that might place you in a conflict of interest situation should you be appointed to this Board/Commission? If so, please explain.**

**No**

**Do you anticipate that there will be times when you will not be able to attend the Board/Commission meeting? If yes, how often do you anticipate this would occur?**

I can attend meetings if they are held after 5:30 pm

**Mail to: Mayor's Office, 10000 East 59<sup>th</sup> Street, Raytown, MO 64133; or FAX: 816-737-6097.**

**CITY OF RAYTOWN**  
**Request for Board Action**

**Date:** August 10, 2016  
**To:** Mayor and Board of Aldermen  
**From:** Teresa M. Henry, City Clerk

**Motion and Roll Call Vote**

**Department Head Approval:** \_\_\_\_\_

**City Administrator Approval:** \_\_\_\_\_



**Action Requested:** Motion and vote to accept the August 2, 2016 Primary Election results as certified by the Jackson County Election Board to discontinue applying and collecting the local sales tax on the titling of motor vehicles, trailers, boats, and outboard motors that were purchased from a source other than a licensed Missouri dealer.

An approval of this measure would have resulted in a reduction of local revenue to provide for vital services for the City of Raytown, Missouri and it would have placed Missouri dealers of motor vehicles, outboard motors, boats, and trailers at a competitive disadvantage to non-Missouri dealers of motor vehicles, outboard motors, boats, and trailers.

**Recommendation:** Motion and voice vote to accept.

**Analysis:** On August 2, 2016, the City held a Primary Election. The Jackson County Election Board certified the results of that election on August 10, 2016. Approval and acceptance of their certification is a formality.

**Alternatives:** None.

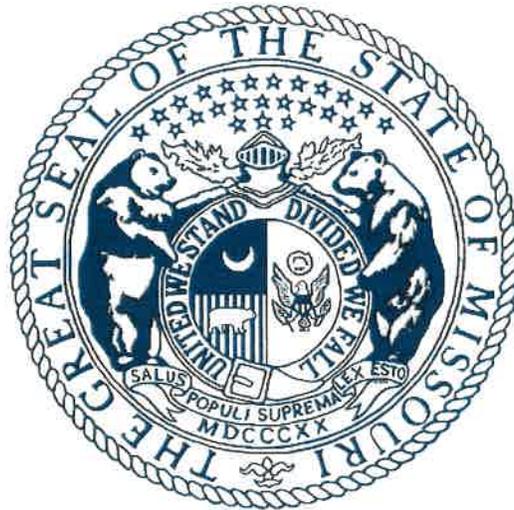
**Budgetary Impact:**

Not Applicable

**Additional Reports Attached:** Certified Election Results

# OFFICIAL CERTIFICATION

SPECIAL ELECTION  
CITY OF RAYTOWN  
STATE OF MISSOURI  
County of Jackson



**Tuesday, August 2, 2016**

**Jackson County Board of Election Commissioners  
215 N. Liberty, P.O. Box 296  
Independence, Missouri 64051**

**Mary Ellen Miller**  
Chairman

**Colleen M. Scott**  
Secretary

**Vacant**  
Member

**Michael K. Whitehead**  
Member

**Robert C. Nichols, Jr.**  
Director

**Tammy L. Brown**  
Director

JACKSON COUNTY, MISSOURI  
 PRIMARY ELECTION  
 AUGUST 2, 2016  
 SOVC Report

## CITY OF RAYTOWN, MISSOURI QUESTION 1

		RV	BC	%	RV	TV	YES		NO	
Jurisdiction Wide										
BR 01	Normal	808	193	23.89%	808	187	60	32.09%	127	67.91%
	Absentee	808	-	-	808	0	0	-	0	-
BR 02	Normal	1240	329	26.53%	1240	314	77	24.52%	237	75.48%
	Absentee	1240	-	-	1240	0	0	-	0	-
BR 03,04	Normal	1106	237	21.43%	1106	231	58	25.11%	173	74.89%
	Absentee	1106	-	-	1106	0	0	-	0	-
BR 05,20	Normal	1247	329	26.38%	1247	304	93	30.59%	211	69.41%
	Absentee	1247	-	-	1247	0	0	-	0	-
BR 06	Normal	76	14	18.42%	76	14	5	35.71%	9	64.29%
	Absentee	76	-	-	76	0	0	-	0	-
BR 07	Normal	1063	302	28.41%	1063	289	77	26.64%	212	73.36%
	Absentee	1063	-	-	1063	0	0	-	0	-
BR 08,13	Normal	2699	794	29.42%	2699	775	209	26.97%	566	73.03%
	Absentee	2699	-	-	2699	0	0	-	0	-
BR 09	Normal	1042	233	22.36%	1042	229	62	27.07%	167	72.93%
	Absentee	1042	-	-	1042	0	0	-	0	-
BR 10	Normal	1744	405	23.22%	1744	396	113	28.54%	283	71.46%
	Absentee	1744	-	-	1744	0	0	-	0	-
BR 11,15	Normal	1057	215	20.34%	1057	211	55	26.07%	156	73.93%
	Absentee	1057	-	-	1057	0	0	-	0	-
BR 12	Normal	1499	423	28.22%	1499	410	112	27.32%	298	72.68%
	Absentee	1499	-	-	1499	0	0	-	0	-
BR 14	Normal	719	189	26.29%	719	184	45	24.46%	139	75.54%
	Absentee	719	-	-	719	0	0	-	0	-
BR 16	Normal	1305	337	25.82%	1305	324	81	25.00%	243	75.00%
	Absentee	1305	-	-	1305	0	0	-	0	-
BR 17	Normal	38	5	13.16%	38	5	1	20.00%	4	80.00%
	Absentee	38	-	-	38	0	0	-	0	-
BR 18	Normal	1237	385	31.12%	1237	376	117	31.12%	259	68.88%
	Absentee	1237	-	-	1237	0	0	-	0	-
BR 19	Normal	17	10	58.82%	17	10	3	30.00%	7	70.00%
	Absentee	17	-	-	17	0	0	-	0	-
ABSENTEE	Normal	-	-	-	0	0	0	-	0	-
	Absentee	-	2264	-	0	211	64	30.33%	147	69.67%
Total	Normal	219938	52763	23.99%	16897	4259	1168	27.42%	3091	72.58%
	Absentee	219938	2264	1.03%	16897	211	64	30.33%	147	69.67%
	Total	219938	55027	25.02%	16897	4470	1232	27.56%	3238	72.44%

**NOTICE OF SPECIAL ELECTION  
CITY OF RAYTOWN, MISSOURI  
TUESDAY, AUGUST 2, 2016**

Notice is hereby given to the registered qualified voters of the City of Raytown, Missouri, that the City Council of said City has called a Special Election to be held on Tuesday, August 2, 2016. The polls will be open from 6 a.m. until 7 p.m.

The official ballot will be substantially in the following form:

**SAMPLE BALLOT  
CITY OF RAYTOWN, MISSOURI  
SPECIAL ELECTION  
TUESDAY, AUGUST 2, 2016**

**QUESTION 1**

Shall the City of Raytown, Missouri discontinue applying and collecting the local sales tax on the titling of motor vehicles, trailers, boats, and outboard motors that were purchased from a source other than a licensed Missouri dealer?

Approval of this measure will result in a reduction of local revenue to provide for vital services for the City of Raytown, Missouri and it will place Missouri dealers of motor vehicles, outboard motors, boats, and trailers at a competitive disadvantage to non-Missouri dealers of motor vehicles, outboard motors, boats, and trailers.

**YES  
NO**

**INSTRUCTIONS TO VOTERS**

Using blue or black ink, completely fill in the box next to the question response of your choice like this:

Fill in the oval completely. **VOTE BOTH SIDES OF BALLOT, IF APPLICABLE**

The following is a list of the polling (voting) locations:

<u>PCTS.</u>	<u>POLLS</u>	<u>ADDRESSES</u>
<b>BROOKING TOWNSHIP</b>		
1	Raytown Library	6131 Raytown Rd
2	St Matthew's Episcopal Church	9349 E 65th St
3,4	Our Lady of Lourdes Church	7045 Blue Ridge Blvd
5,20	Raytown Central Middle School	10601 E 59th St
6	Raytown Central Middle School	10601 E 59th St
7	River Christian Fellowship Community Campus	6400 Woodson Rd
8,13	First Baptist Church of Raytown	10500 E State Route 350
9	Woods Chapel Church Raytown Campus	5413 Blue Ridge Cut Off
10	Raytown City Hall	10000 E 59th St
11,15	Faith Presbyterian Church	8301 James A Reed Rd
12	Spring Valley Baptist Church	8801 E 79th St
14	Southwood Church of the Nazarene	8201 Raytown Rd
16	Southwood United Church of Christ	7904 Raytown Rd
17	Southwood United Church of Christ	7904 Raytown Rd
18	Raytown South High School	8211 Sterling Ave
19	Raytown South High School	8211 Sterling Ave

IN WITNESS WHEREOF, the Jackson County Board of Election Commissioners has caused its name to be hereunto signed and the official seal affixed this 24th day of May, 2016.

**JACKSON COUNTY BOARD  
OF ELECTION COMMISSIONERS**

Robert C. Nichols, Jr., Director  
Tammy L. Brown, Director  
ATTEST:  
Colleen M. Scott, Secretary

Mary Ellen Miller, Chairman  
Colleen M. Scott, Secretary  
Vacant, Member  
Michael K. Whitehead, Member

**NOTICE OF ACCESSIBILITY**

FURTHER NOTICE IS GIVEN that, where a regular polling place has limited accessibility, a disabled or elderly voter may be provided an alternative means of casting his or her ballot. Such means may include reassignment to an accessible polling place, curbside voting, assisted voting or voting by absentee ballot. A voter may apply for an absentee ballot in person or by mail, or may have a relative or guardian apply in person on his or her behalf. If an absentee voter is disabled or incapacitated, the notary requirement is waived. In addition, voters requiring assistance may be assisted by a person of the voter's choice.



**CITY OF RAYTOWN**  
**Request for Board Action**

**Date: August 16, 2016**

**Amended Bill No. 6412-16**

**To: Mayor and Board of Aldermen**

**Section No.: XIII**

**From: Ray Haydaripoor, Acting Development & Public Affairs Director**

**Department Head Approval:** \_\_\_\_\_

**Finance Director Approval:** \_\_\_\_\_ (only if funding requested)

**City Administrator Approval:** \_\_\_\_\_

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**Action Requested:** Conduct a public hearing to consider a Conditional Use Permit application for a vehicle fueling station located at 6709 Raytown Road.

**Recommendation:** The Planning & Zoning Commission, by a vote of 5 in favor and 1 against, is recommending approval of the application subject to the following conditions:

1. The trash enclosure shall be rotated so that the gates and opening face the parking lot and not the street in order to enable a trash truck more direct access to the trash container.
2. The exterior appearance of the trash enclosure shall match the exterior appearance of the building addition.
3. Landscaping consisting of shrubs need to be planted along the south and east sides of the trash enclosure to help screen it. As a result, the curb line of the parking lot adjacent to the trash enclosure is to be changed so that the curb line on the east side of the parking lot aligns with the opening of the trash enclosure, rather than with the back of the trash enclosure.
4. The type and size of the shrubs at the time of planting need to be submitted for review and approval by staff to ensure compliance with the City's adopted landscape standards.
5. The parking space located near the monument sign shall be removed.
6. Building elevation drawings for the existing building, the proposed building addition and proposed canopy shall be submitted for staff review and approval.
7. The exterior material of the building addition shall be indicated and shall match the exterior material and color of the remainder of the building.
8. The driveway approach on Raytown Rd. will be clearly marked and identified as right-in, right-out only.
9. The applicant will construct an eight (8) foot sidewalk along the property abutting 67<sup>th</sup> Street.
10. The applicant shall submit three copies of the revised site plan for staff review of changes approved by the Planning and Zoning Commission.

**Analysis:** James Sullivan with Sullivan Palmer Architects on behalf of the property owner, Aim Investments, LLC., is seeking approval of a conditional use permit application that proposes to allow a vehicle fueling station at 6709 Raytown Road, which is on the northeast corner of Raytown Road and 67th Street. The property is zoned Neighborhood Commercial (NC).

The applicant is seeking the conditional use permit as they want to tear down the existing building at 6709 Raytown Road and install gas pumps and construct a canopy on the property.

The applicant also owns the adjoining property to the east of the subject property. The existing building on the abutting property to the east would be remodeled into the convenience store building.

This application previously went before the Planning & Zoning Commission and the Board of Aldermen in May and June of 2016. After two readings of the original ordinance the Board of Aldermen requested that the application go back before the Planning & Zoning Commission for approval upon receipt of a completed traffic impact analysis, which was absent from the first three public hearings. After receiving the completed traffic impact analysis from the applicant, the Public Works department has determined that the traffic generated by the business will not add significant traffic congestion to the intersection at 67<sup>th</sup> St. and Raytown Rd. However, due to the proximity of the drive along Raytown Rd. to the intersection, and in order to increase traffic safety for customers entering and exiting the property, Public Works recommends that the approach to the applicant property on Raytown Rd be labeled as right-in, right-out only. This will prevent vehicles from turning left onto Raytown Rd. while exiting the property, and also will similarly prevent vehicles from using the left turn lane on southbound Raytown Rd. to enter the property. No other recommendations have been added since this application appeared before the board previously. The Applicant has updated their site plan to meet all of the previous recommendations made by staff and the Planning and Zoning Commission.

**Alternatives:** Alternatives to the recommendation of the Planning & Zoning Commission would be to:

1. Deny the conditional use permit application; or
2. Refer the application back to the Planning & Zoning Commission for reconsideration or further review.

**Budgetary Impact:** This application does not require the City to provide any funding.

**Additional Reports Attached:**

- Conditional Use Permit Application submitted by applicant
- Staff Report on this application for the August 4th Planning & Zoning Commission meeting.
- Minutes of the August 4th, 2016 Planning Zoning Commission meeting.

# STAFF REPORT

**To:** THE CITY OF RAYTOWN PLANNING AND ZONING COMMISSION  
**From:** THE COMMUNITY DEVELOPMENT DEPARTMENT  
**Date:** May 12, 2016  
**Subject:** Agenda Item No. 5. A: Application for conditional use permit for a fueling station at 6709 Raytown Road.

## Background Information:

James Sullivan with Sullivan Palmer Architects on behalf of Aim Investments, LLC, is seeking approval of a conditional use permit application that proposes to allow a vehicle fueling station at 6709 Raytown Road, which is on the northeast corner of Raytown Road and 67<sup>th</sup> Street. The subject property is owned by Aim Investments, LLC.

The applicant is seeking the conditional use permit as they want to tear down the existing building at 6709 Raytown Road and install gas pumps and construct a canopy on the property. The applicant also owns the adjoining property to the east of the subject property. The existing building on the abutting property to the east would be remodeled into a convenience store. The applicant has submitted a final plan to combine these two lots into one lot, which is agenda item 5.B.



## **Factors To Be Considered:**

In considering any application for a conditional use permit, the Planning Commission shall give consideration to the health, safety, morals, comfort and general welfare of the inhabitants of the city, including but not limited to, the following factors.

1. The stability and integrity of the various zoning districts.  
The property to which the conditional use permit application applies is zoned Neighborhood Commercial (HC). The zoning and uses on surrounding properties are more specifically described below:  
  
East: A dental office is located to the east and is zoned Neighborhood Commercial (NC).  
  
West: Raytown Road abuts the west side of the property. Offices are located on the west side of Raytown Road and are zoned Neighborhood Commercial (NC).  
  
South: 67<sup>th</sup> Street is located along the south side of the property. A commercial property with offices and a restaurant is located on the south side of 67<sup>th</sup> Street which is zoned Neighborhood Commercial (NC).  
  
North: An office is located on the north side of the subject property which is zoned Neighborhood Commercial (NC). Further north are additional commercial uses which are zoned Neighborhood Commercial (NC).
2. Conservation of property values.  
The proposed use, if approved, will occupy a currently vacant property as well as the adjoining property to the east. The property at 6709 Raytown Road was originally developed as a restaurant while the property to the east has previously been used as a dry-cleaner and more recently as a church. Both properties have been vacant for several years.
3. Protection against fire and casualties.  
Construction of the gas pumps and canopy will require submittal of construction and engineering plans which will be reviewed by city staff for compliance with the city's adopted construction codes. In addition, prior to occupying the property, the applicant will be required to obtain a Use Permit from the Development and Public Affairs Department. As part of review and approval of the Use Permit, the buildings and property will be inspected by the City's Building Official and Property Code Enforcement Officer as well as by the Fire Marshall from the Raytown Fire Protection District to ensure compliance with the applicable life safety codes contained in the city and fire district's adopted Building and Fire Codes as well as the city's Property Maintenance Code.
4. Observation of general police regulations.  
It does not appear that the proposed automotive sales business will violate any general police regulations.
5. Prevention of traffic congestion.  
The subject property is located at the intersection of Raytown Road and E 67<sup>th</sup> Street. As such, it is important to prevent congestion from vehicles entering and exiting the property. To alleviate this concern the three driveways currently along 67<sup>th</sup> St will be consolidated into one driveway large enough to fit two-way traffic, and will be placed further back from the intersection.
6. Promotion of traffic safety and the orderly parking of motor vehicles.  
As stated above, the three driveways along 67<sup>th</sup> St. will be reduced down to one driveway large enough to allow two-way traffic. This will provide a reduced number of entrances and exits for vehicles, providing fewer opportunities for incidents of vehicles crossing into or out of traffic.

7. Promotion of the safety of individuals and property.  
As previously described, if the application is approved, prior to opening for business city code requires that the applicant obtain a Use Permit from the Development and Public Affairs Department. As part of the review and approval of the Use Permit application, the buildings and property will be inspected by the City's Building Official and Property Code Enforcement Officer as well as by the Fire Marshall with the Raytown Fire Protection District to ensure compliance with the applicable life safety codes contained in the city and fire district's adopted building and fire codes.
8. Provision for adequate light and air.  
There is a proposed canopy to be built over the fuel pumps as part of the proposed conditional use. This will not have any negative impact on the provision for adequate light and air for any neighboring properties.
9. Prevention of overcrowding and excessive intensity of land uses.  
The proposed fuel pumps and canopy will sit on the opposite end of the lot, away from the convenience store. This will provide adequate room for parking and vehicle traffic, in addition to the consolidated driveways which will provide better traffic and congestion control. As such the proposed use will not provide overcrowding or an excessive land use intensity.
10. Provision for public utilities and schools.  
It is not anticipated that the proposed conditional use will have any impact on schools, and all necessary utilities are available to serve the property.
11. Invasion by inappropriate uses.  
There are other fuel stations and convenience stores along Raytown Road of similar size. As such, it does not appear that the proposed use will be an invasion of an inappropriate use if the use and property are in compliance with other city codes and regulations.
12. Value, type and character of existing or authorized improvements and land uses.  
The building on the property is proposed to be demolished and replaced with four gas pump islands and canopy. The site will be regraded and landscaping installed along 67<sup>th</sup> Street and along Raytown Road. The existing building on the property to the east, which will be combined with the subject property will be renovated and expanded into the convenience store building. Additionally, two of the existing driveways on 67<sup>th</sup> Street will be removed to improve traffic safety and reduce congestion.
13. Encouragement of improvements and land uses in keeping with overall planning.  
In addition to the proposed improvements described above, the following modifications to the proposed plans are recommended by staff:
  - a. The trash enclosure should be rotated so that the gates and opening face the parking lot and not the street in order to enable a trash truck more direct access to the trash container.
  - b. The exterior appearance of the trash enclosure should match the exterior material and color of the building addition.
  - c. Landscaping consisting of shrubs need to be planted along the south and east sides of the trash enclosure to help screen it. As a result, the curb line of the parking lot adjacent to the trash enclosure needs to be changed so that the curb line on the east side of the parking lot aligns with the opening of the trash enclosure, rather than with the back of the trash enclosure.
  - d. The type and size of the shrubs at the time of planting need to be submitted to for review and approval by staff to ensure compliance with the city's adopted landscape standards.
  - e. The parking space located near the monument sign should be removed as it will interfere with traffic movement and circulation on the property.

- f. Building elevation drawings for the existing building, the proposed building addition and proposed canopy need to be submitted for review and approval.
  - g. The exterior material of the building addition needs to be indicated and match the exterior material and color of the remainder of the building.
14. Provision for orderly and proper renewal, development and growth.  
The proposed use is located in an existing commercial area and, if the application is approved in a manner that is consistent with city codes and regulations, the proposed use will allow continued commercial use of the property while providing for the orderly and proper renewal, redevelopment and growth along Raytown Road.

### **Staff Recommendation:**

It is the recommendation of staff that the conditional use permit application to operate a fueling station at 6709 Raytown Road be approved subject to the following conditions:

1. The trash enclosure shall be rotated so that the gates and opening face the parking lot and not the street in order to enable a trash truck more direct access to the trash container.
2. The exterior appearance of the trash enclosure shall match the exterior appearance of the building addition.
3. Landscaping consisting of shrubs need to be planted along the south and east sides of the trash enclosure to help screen it. As a result, the curb line of the parking lot adjacent to the trash enclosure is to be changed so that the curb line on the east side of the parking lot aligns with the opening of the trash enclosure, rather than with the back of the trash enclosure.
4. The type and size of the shrubs at the time of planting need to be submitted to for review and approval by staff to ensure compliance with the city's adopted landscape standards.
5. The parking space located near the monument sign shall be removed.
6. Building elevation drawings for the existing building, the proposed building addition and proposed canopy shall be submitted for staff review and approval.
7. The exterior material of the building addition shall be indicated and shall match the exterior material and color of the remainder of the building.

**MINUTES  
CITY OF RAYTOWN  
PLANNING AND ZONING COMMISSION MEETING**

**August 4, 2016**

**Raytown City Hall  
Board of Aldermen Chambers  
10000 East 59<sup>th</sup> Street**

**Raytown, Missouri 64133**

**7:00 pm**

**1. Welcome by Chairperson**

Tommy Bettis, Vice Chair, served as the Chairman in Kevin Wilson's absence.

**2. Call meeting to order and Roll Call.**

Wilson: Absent	Jimenez: Present	Stock: Absent
Bettis: Present	Robinson: Present	Lightfoot: Present
Hartwell: Present	Dwight: Absent	Meyers: Present

Also Present: Ray Haydaripoor, Acting Director of Development and Public Affairs, Scott Peterson, Permit Technician, June Van Loo, Permit Technician, Andy Boyd, Building Official, Ron Williamson, Planning Consultant, George Kapke, City Attorney.

**3. Approval of minutes – May 12, 2016 meeting**

- a. Revisions- None
- b. Motion- Mr. Lightfoot made a motion to approve the minutes.
- c. Second- Mr. Robinson seconded Mr. Lightfoot's motion.
- d. Additional Board Discussion- None.
- e. Vote- Motion passed 4-0, with Mr. Bettis and Ms. Hartwell abstaining.

**4. Old Business – None**

**5. New Business:**

A. Application: Application for conditional use permit for a fueling station at 6709 Raytown Road in Raytown, MO.

Case No.: PZ-2016-006

Applicant: Aim Investments, LLC

1. Introduction of Application by Chair- Mr. Bettis introduced the application.

2. Open Public Hearing- Mr. Bettis opened the public hearing.
3. Explain Procedure for a Public Hearing and swear-in speakers- Mr. Kapke swore in those wishing to speak on the application.
4. Enter Additional Relevant City Exhibits into the Record:
  - a. Conditional Use Permit Application submitted by applicant
  - b. Publication of Notice of Public Hearing in Daily Record Newspaper.
  - c. Public Hearing Notices mailed to property owners within 185-feet of subject property
  - d. City of Raytown Zoning Ordinance, as amended
  - e. City of Raytown Comprehensive Plan
  - f. Staff Report on application for May 12, 2016 Planning & Zoning Commission meeting
  - g. Traffic Impact Analysis
5. Explanation of any exparte' communication from Commission members regarding the application-

Mr. Meyers stated that he had had some exparte' communication and that it would not impact his decision.
6. Introduction of Application by Staff-

Mr. Peterson introduced the application to the Commission. The applicant had previously been through the Planning and Zoning Commission on May 12<sup>th</sup>, 2016, and was recommended approval for a Conditional Use Permit to operate a fueling station at 6709 Raytown Rd. The Board of Aldermen requested that a Traffic Impact Analysis be completed and that the application go back to the Planning and Zoning Commission and Board of Aldermen upon completion of the Traffic Impact Analysis.

Mr. Peterson stated the applicant has revised their site plan to meet the previous Staff recommendations, and that Staff had one additional recommendation in light of the results of the Traffic Impact Analysis.
7. Presentation of Application by Applicant-

Jim Sullivan, of Sullivan Palmer Architects, presented the application on behalf of the applicant. Mr. Sullivan provided an update to the Traffic Impact Analysis, and stated that the applicant agreed with the recommendation that the driveway entrance onto Raytown Rd be labeled as right-in, right-out only.

Discussion included the frequency and hour of deliveries of fuel to the store, the ability of vehicles to get on the site with right-in, right-out only entry on Raytown Rd, and the safety of the site for vehicles and pedestrians.
8. Request for Public Comment-

Carol Hinesly spoke in opposition of the application. She was worried about the possibility of crime and traffic congestion at that intersection with the construction of the fueling canopy.
9. Additional Comment from Applicant, Additional Comment from Applicant, if necessary-

Mr. Sullivan responded to Ms. Hinesly's comments, and felt that the Traffic Impact Analysis showed that there would not be additional traffic generated with construction of the applicant property.
10. Additional Staff Comments and Recommendation-

Staff recommended that the application for a Conditional Use Permit be approved subject to the following conditions:

- a) The trash enclosure shall be rotated so that the gates and opening face the parking lot and not the street in order to enable a trash truck more direct access to the trash container.
- b) The exterior appearance of the trash enclosure shall match the exterior appearance of the building addition.
- c) Landscaping consisting of shrubs need to be planted along the south and east sides of the trash enclosure to help screen it. As a result, the curb line of the parking lot adjacent to the trash enclosure is to be changed so that the curb line on the east side of the parking lot aligns with the opening of the trash enclosure, rather than with the back of the trash enclosure.
- d) The type and size of the shrubs at the time of planting need to be submitted to for review and approval by staff to ensure compliance with the City's adopted landscape standards.
- e) The parking space located near the monument sign shall be removed.
- f) Building elevation drawings for the existing building, the proposed building addition and proposed canopy shall be submitted for staff review and approval.
- g) The exterior material of the building addition shall be indicated and shall match the exterior material and color of the remainder of the building.
- h) The driveway approach on Raytown Rd. will be clearly marked and identified as right-in, right-out only.
- i) The applicant will construct an eight (8) foot sidewalk along the property abutting 67<sup>th</sup> St.
- j) The applicant shall submit three copies of the revised site plan for staff review of changes approved by the Planning and Zoning Commission.

#### 11. Board Discussion

Mr. Meyers asked for clarification on condition (g), that the building addition shall be required to match the exterior material of the building.

#### 12. Close Public Hearing- Mr. Bettis closed the public hearing.

#### 13. Board Decision to Approve, Conditionally Approve or Deny the Application.

- a. Motion- Mr. Lightfoot made a motion to approve the Conditional Use Permit subject to all Staff recommendations.
- b. Second- Mr. Jimenez seconded Mr. Lightfoot's motion.
- c. Additional Board Discussion- None.
- d. Vote- Motion passed 5-1.

#### B. Application: Application for Final Plat Site Plan for the Dollar General located at 9109 E. 63<sup>rd</sup> Street zoned (NC-P) and Low Density Residential (R-1)

Case No.: PZ-2016-0010

Applicant: Greg Stervinou Construction Company

- 1. Introduction of application.- Mr. Bettis introduced the application to the Commission.
- 2. Open Public Hearing- Due to this being a Final Site Plan a Public Hearing was not necessary.
- 3. Explain Procedure for a Public Hearing and swear-in-speakers- Mr. Kapke swore in those wishing to speak on the application.

4. Explanation of any exparte' communication from Commission members regarding the application.- Mr. Lightfoot stated that he had had some exparte' communication in the past, but that it would not affect his decision.
5. Introduction of Application by Staff-

Mr. Peterson introduced the application to the Commission. Greg Stervinou is looking to construct a Dollar General at the site located at 9109 E 63<sup>rd</sup> St. The applicant had previously been before the Planning and Zoning Commission and the Board of Aldermen as part of a rezoning application. The Board of Aldermen approved the rezoning subject to three conditions:

- a) That the site plan comply with the Central Business District (CBD) Design Standards.
  - b) That the final site plan be presented for approval to the Planning and Zoning Commission and the Board of Aldermen.
  - c) That the retail store be prohibited from selling alcohol.
6. Presentation of Application by Applicant  
Ralph Monaco, attorney, and Paul Miller, engineer for Davidson Architecture and Engineering, presented the application on behalf of the application. Mr. Monaco requested an exception to the staff recommendations that the number of parking spaces be added, that the size of the parking lot be reduced, and that the building be moved farther north.
  7. Request for Public Comment- N/A.
  8. Additional Comment from Applicant, Additional Comment from Applicant, if necessary- N/A
  9. Additional Staff Comments and Recommendation

Staff recommended approval of the site plan subject to the following recommendations:

1. The buffer as set out in the NC district shall not be required and the location of the building shall be as determined by the Board of Aldermen.
  2. Parking shall be permitted in front of the building.
  3. Six additional parking spaces shall be created, or the building size will be reduced, to accommodate the minimum parking standards.
  4. The planting area along 63<sup>rd</sup> Street shall be increased to a minimum of 10 feet.
  5. The width of the parking lot shall be reduced from 76 feet to 60 feet.
  6. The building shall be moved north to allow more separation between it and the future residences to the south.
  7. A front building setback greater than 10 feet shall be permitted.
  8. The applicant shall prepare a complete sign package in accordance with the sign regulations and submit it to Staff for review and approval.
  9. Replace the Downy Hawthorns along 63<sup>rd</sup> Street and in the SW corner of the parking lot with a different variety.
  10. The applicant shall be responsible for the maintenance and replacement of all landscaping as needed.
  11. Add one additional tree to the west side and two to the south side of the building.
  12. Revise the site plan as approved by the Planning and Zoning Commission and the Board of Aldermen and submit five copies to Staff for review and approval of the changes.
10. Board Discussion:

Additional discussion included the 9-foot retaining wall that had been in a previous site plan, but had since been removed, the location of the proposed PVC-vinyl privacy fence, and amending certain staff recommendations based on the Applicant's testimony.

11. Close Public Hearing- N/A

12. Board Decision to Approve, Conditionally Approve or Deny the Application.

a. Motion- Mr. Jimenez made a motion to approve the site plan subject to staff recommendations, with the following amendments:

- i. That staff recommendation number 3 be removed.
- ii. That staff recommendation number 5 be amended to state that "The width of the parking lot shall be reduced from 76 feet to 72 feet."
- iii. That staff recommendation number 6 shall be amended to state that "the building shall be moved 2.4 feet north to allow more separation between it and the future residences to the south.

b. Second- Mr. Lightfoot seconded Mr. Jimenez's motion.

c. Additional Board Discussion- None.

d. Vote- Motion passed unanimously 5-0.

6. Other Business- None.

7. Planning Projects Report- None.

8. Set Future Meeting Date – September 1, 2016

9. Adjourn

**AN ORDINANCE GRANTING A CONDITIONAL USE PERMIT SUBJECT TO CERTAIN CONDITIONS TO ALLOW A FUELING STATION AT 6709 RAYTOWN ROAD IN RAYTOWN, MISSOURI**

**WHEREAS**, application PZ-2016-006, submitted by James Sullivan with Sullivan Palmer Architects on behalf of Aim Investments, LLC, which seeks to allow a vehicle fueling station 6709 Raytown Road in Raytown, Missouri; and

**WHEREAS**, pursuant to City Code Chapter 50, Article V of the City of Raytown Code of Ordinances, application no. PZ-2016-007, was referred to the Planning & Zoning Commission to hold a public hearing; and

**WHEREAS**, after due public notice in the manner prescribed by law, the Planning & Zoning Commission held public hearings on said application on May 12, 2016; and

**WHEREAS**, at the conclusion of said public hearing on May 12, 2016 the Planning Commission by a vote of five (5) in favor and zero (0) against rendered a report to the Board of Aldermen recommending that the Conditional Use Permit Application be approved subject to certain conditions; and

**WHEREAS**, after due public notice in the manner prescribed by law, the Board of Aldermen held public hearings on said application on May 17, 2016 and June 7, 2016; and

**WHEREAS**, The Board of Aldermen requested that the application be sent back to the Planning and Zoning Commission for review upon receipt of a completed Traffic Impact Analysis; and

**WHEREAS**, after receipt of the completed Traffic Impact Analysis, and after due public notice in the manner prescribed by law, the Planning & Zoning Commission held a public hearing on said application on August 4<sup>th</sup>, 2016; and

**WHEREAS**, at the conclusion of said public hearing on August 4<sup>th</sup>, 2016 the Planning and Zoning Commission by a vote of five (5) in favor to one (1) against rendered a report to the Board of Aldermen recommending that the Conditional Use Permit Application be approved subject to certain conditions; and

**WHEREAS**, based on all of the information presented the Board of Aldermen finds it is in the best interest of the citizens of the City of Raytown to approve said Conditional Use Permit subject to certain conditions specified herein.

**NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:**

**SECTION 1 – GRANT OF CONDITIONAL USE PERMIT.** That a Conditional Use Permit is hereby granted to allow a vehicle fueling station on property located at 6709 Raytown Road in Raytown, Missouri, as legally described in Exhibit “A”, subject to the conditions set forth in Section 2 herein.

**SECTION 2 – CONDITIONS OF APPROVAL AND OPERATION.** That the following conditions of approval shall apply and be followed during the duration of the use allowed by this Conditional Use Permit.

1. The trash enclosure shall be rotated so that the gates and opening face the parking lot and not the street in order to enable a trash truck more direct access to the trash container.
2. The exterior appearance of the trash enclosure shall match the exterior appearance of the building addition.
3. Landscaping consisting of shrubs need to be planted along the south and east sides of the trash enclosure to help screen it. As a result, the curb line of the parking lot adjacent to the trash enclosure is to be changed so that the curb line on the east side of the parking lot aligns with the opening of the trash enclosure, rather than with the back of the trash enclosure.
4. The type and size of the shrubs at the time of planting need to be submitted for review and approval by staff to ensure compliance with the City's adopted landscape standards.
5. The parking space located near the monument sign shall be removed.
6. Building elevation drawings for the existing building, the proposed building addition and proposed canopy shall be submitted for staff review and approval.
7. The exterior material of the building addition shall be indicated and shall match the exterior material and color of the remainder of the building.
8. The driveway approach on Raytown Rd. will be clearly marked and identified as right-in, right-out only.
9. The applicant will construct an eight (8) foot sidewalk along the property abutting 67<sup>th</sup> Street.
10. The applicant shall submit three copies of the revised site plan for staff review of changes approved by the Planning and Zoning Commission.
11. The building will substantially match the renderings as presented at the June 7, 2016 Board of Aldermen meeting.

**SECTION 3 – FAILURE TO COMPLY.** That failure to comply with any of the conditions or provisions contained in this ordinance shall constitute violations of both this ordinance and the City's Comprehensive Zoning Code and shall be cause for revocation of the Conditional Use Permit granted herein in addition to other penalties contained in the City Code.

**SECTION 4 – REPEAL OF ORDINANCES IN CONFLICT.** All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

**SECTION 5 – SEVERABILITY CLAUSE.** The provisions of this ordinance are severable and if any provision hereof is declared invalid, unconstitutional or unenforceable, such determination shall not affect the validity of the remainder of this ordinance.

**SECTION 6 – EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after the date of its passage and approval.

**BE IT REMEMBERED** that the above was read two times by heading only, **PASSED AND ADOPTED** by a majority of the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Jackson County, Missouri, this 16<sup>th</sup> day of August, 2016.

\_\_\_\_\_  
Michael McDonough, Mayor

ATTEST:

\_\_\_\_\_  
Teresa M. Henry, City Clerk

Approved as to Form:

\_\_\_\_\_  
Joe Willerth, City Attorney

Exhibit "A"

July 11, 2016

Mr. Jim Sullivan  
Sullivan Palmer Architects  
8621 Johnson Drive  
Merriam, KS 66202

**Re: Traffic Impact – 10014 East 67<sup>th</sup> Street, Raytown, MO**

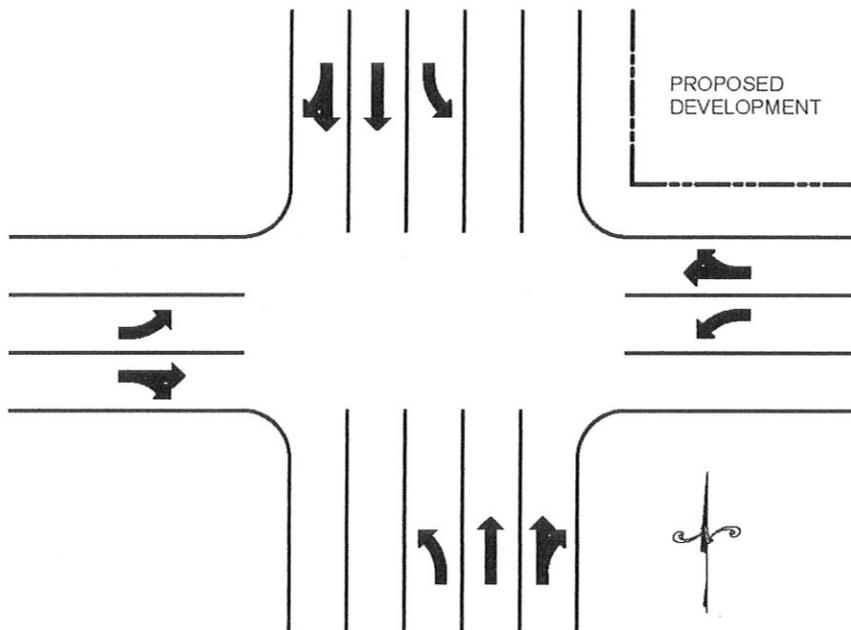
Dear Mr. Sullivan:

This report will address traffic information for the above referenced site and surrounding area as required by the City of Raytown for your permit application. The Traffic Impact Study Policy adopted by the Raytown Planning and Zoning Commission on June 15, 2000 will be used to evaluate the anticipated traffic generated by the facility. This report will conform to Level B of the Traffic Impact Study Policy and is a follow up to my letter of May 10 which constituted Level A of the Policy.

- 1) A traffic count at the intersection of Raytown Road and 67<sup>th</sup> Street was conducted on the afternoon of Wednesday July 6, 2016. Not being on a holiday or the day before or after a three day weekend, one can conclude that the traffic volume is representative of a typical weekday afternoon. Weather conditions were sunny with the temperature in the low 90's. The study was conducted between the hours of 4:00 PM and 6:00 PM and was broken down in 15 minute increments. Based on the total volume of traffic in any direction, the peak hour was determined to be between 4:30 and 5:30 with a total count of 1777 vehicles. Total counts for each of the 15 minute intervals were as follows:

4:00 – 4:15	404
4:15 – 4:30	410
4:30 – 4:45	426
4:45 – 5:00	422
5:00 – 5:15	483
5:15 – 5:30	446
5:30 – 5:45	396
5:45 – 6:00	437

The intersection consists of two lanes northbound and southbound for Raytown Road with a dedicated left turn lane in each direction. 67<sup>th</sup> Street consists of one lane eastbound and westbound with a dedicated left turn lane in each direction. The intersection is graphically represented in the following diagram.



Raytown Road & 67<sup>th</sup> Street

The observed traffic pattern during the peak hour was as follows:

Southbound Raytown Road	
Straight Through	648
Right to Westbound 67 <sup>th</sup> Street	15
Left to Eastbound 67 <sup>th</sup> Street	67
Northbound Raytown Road	
Straight Through	465
Right to Eastbound 67 <sup>th</sup> Street	163
Left to Westbound 67 <sup>th</sup> Street	11
Eastbound 67 <sup>th</sup> Street	
Straight Through	93
Right to Southbound Raytown Road	34
Left to Northbound Raytown Road	26
Westbound 67 <sup>th</sup> Street	
Straight Through	46
Right to Northbound Raytown Road	29
Left to Southbound Raytown Road	180

As can be seen, traffic onto eastbound 67<sup>th</sup> Street from Raytown Road is approximately 13% of the total and traffic to southbound Raytown Road from westbound 67<sup>th</sup> Street is approximately 10% of the total. Right turns from northbound Raytown Road to eastbound 67<sup>th</sup> Street average 2.71 vehicles per minute and left turns from westbound 67<sup>th</sup> Street to southbound Raytown Road average 3.0 vehicles per minute.

- 2) From the Level A report, the peak hour traffic is estimated to be 109 vehicle trips or 55 vehicles. Based on the percentages of traffic flow in each direction, it is anticipated that 37 vehicles would enter the development from the south side driveway and the remaining 18 vehicles would enter from the west side driveway. The same number of vehicles would leave the site from the same driveways and resume their original directions of travel. Tanker trucks entering the site for re-fueling would likely use both driveways due to the limited amount of room available for maneuvering. It is recommended that refueling not take place during peak hours. There is a “No Trucks Over 24,000 LBS GVW” sign at the south side of 67<sup>th</sup> Street immediately east of the intersection. It is recommended that this sign be moved east approximately one block.
  
- 3) Referencing Chapter 7 of the Raytown Comprehensive Plan dated 2/26/08, the proposed development is within a segment of Raytown Road that has been identified as overloaded in terms of traffic volume. Volume vs. capacity will be determined using the 2000 edition of the Highway Capacity Manual. From Chapter 16, the base saturation flow rate is 1900 vehicles per hour per lane which is then subject to various adjustment factors. Lane widths are 10’ at this intersection with the adjustment used =  $1 + ((10-12)/30) = 0.933$ . The number of heavy vehicles observed was almost negligible so that factor will be taken as 1.0. The grade at Raytown Road averages approximately 2% in the southbound lanes and 5% in the northbound lanes. The adjustment factor for the southbound lanes is  $1 - (2/200) = 0.99$  and for the northbound lanes is  $1 - (5/200) = 0.975$ . There is no parking at Raytown Road or 67<sup>th</sup> Street and there are no bus stops. The type of area is not CBD and the lane utilization observed was effectively equal. The adjustment factors for these conditions will be 1.0. For 67<sup>th</sup> Street, right turns are made from the straight through lane and for Raytown Road, right turns are made from the right non-exclusive lane. Left turns are made from exclusive lanes that are protected and permitted. The right turn factors are  $1.0 - (0.15 \times 0.02) = 0.997$  for southbound Raytown Road,  $1.0 - (0.15 \times 0.255) = 0.962$  for northbound Raytown Road,  $1.0 - (0.15 \times 0.222) = 0.967$  for eastbound 67<sup>th</sup> Street, and  $1.0 - (0.15 \times 0.114) = 0.983$  for westbound 67<sup>th</sup> Street. The left turn factor for all conditions is 0.95. Pedestrian and bicycle traffic was virtually nonexistent during the observed period so the adjustment factor will be taken as 1.0. Using the factors previously described, the adjusted lane capacities are as follows:

Southbound Raytown Road Right Lane –  $1900 \times 0.933 \times 0.99 \times 0.997 = 1750$

Southbound Raytown Road Center Lane –  $1900 \times 0.933 \times 0.99 = 1755$

Southbound Raytown Road Left Lane –  $1900 \times 0.933 \times 0.99 \times 0.95 = 1667$

Northbound Raytown Road Right Lane –  $1900 \times 0.933 \times 0.975 \times 0.962 = 1663$   
 Northbound Raytown Road Center Lane –  $1900 \times 0.933 \times 0.975 = 1728$   
 Northbound Raytown Road Left Lane –  $1900 \times 0.933 \times 0.975 \times 0.95 = 1642$   
 Westbound 67<sup>th</sup> Street Right Lane –  $1900 \times 0.933 \times 0.983 = 1742$   
 Westbound 67<sup>th</sup> Street Left Lane –  $1900 \times 0.933 \times 0.95 = 1684$   
 Eastbound 67<sup>th</sup> Street Right Lane –  $1900 \times 0.933 \times 0.967 = 1714$   
 Eastbound 67<sup>th</sup> Street Left Lane –  $1900 \times 0.933 \times 0.95 = 1684$

The amount of green time and cycle lengths were not observed but generally the signals for Raytown Road were green longer than for 67<sup>th</sup> Street which includes times where no traffic was coming through the intersection. Using an estimated cycle length of 120 seconds and green times of 72 seconds for Raytown Road and 36 seconds for 67<sup>th</sup> Street (not including left turn greens) the volume to capacity ratios for each lane are:

Southbound Raytown Road Right Lane –  $320 \times 120 / (1750 \times 72) = 0.305$   
 Southbound Raytown Road Center Lane –  $328 \times 120 / (1755 \times 72) = 0.311$   
 Southbound Raytown Road Left Lane –  $67 \times 120 / (1667 \times 72) = 0.067$   
 Northbound Raytown Road Right Lane –  $401 \times 120 / (1663 \times 72) = 0.402$   
 Northbound Raytown Road Center Lane –  $227 \times 120 / (1728 \times 72) = 0.219$   
 Northbound Raytown Road Left Lane –  $11 \times 120 / (1642 \times 72) = 0.022$   
 Westbound 67<sup>th</sup> Street Right Lane –  $75 \times 120 / (1742 \times 36) = 0.144$   
 Westbound 67<sup>th</sup> Street Left Lane –  $180 \times 120 / (1684 \times 36) = 0.356$   
 Eastbound 67<sup>th</sup> Street Right Lane –  $127 \times 120 / (1714 \times 36) = 0.247$   
 Eastbound 67<sup>th</sup> Street Left Lane –  $26 \times 120 / (1684 \times 36) = 0.051$

In order to determine level of service, delay must be calculated.  $d = d_1(PF) + d_2 + d_3$  where  $d_1 = \text{uniform delay} = (0.5 \times C \times (1 - (g/C))^2) / (1 - (X \times (g/C)))$  where  $C = \text{cycle length}$ ,  $g = \text{green time}$ , and  $X = v/c$  calculated above.  $PF = \text{progression adjustment factor} = 0.576$  for Raytown Road and  $0.986$  for 67<sup>th</sup> Street using estimated arrival type 4.  $d_2 = \text{incremental delay} = 900 \times T \times ((X - 1) + \text{SQRT}((X - 1) + ((8 \times k \times l \times X) / (c \times T))))$  where  $T = \text{duration of analysis period}$ ,  $X = v/c$  calculated above,  $k = \text{incremental delay factor}$ ,  $l = \text{upstream filtering / metering adjustment}$ , and  $c = \text{lane group capacity}$ .  $d_3 = \text{queue delay}$  which will be taken as 0.

Southbound Raytown Road Right Lane  $d_1 = (0.5 \times 120 \times (1 - (72/120))^2) / (1 - (0.305 \times (72/120))) = 11.75$   
 Southbound Raytown Road Center Lane  $d_1 = (0.5 \times 120 \times (1 - (72/120))^2) / (1 - (0.311 \times (72/120))) = 11.80$   
 Southbound Raytown Road Left Lane  $d_1 = (0.5 \times 120 \times (1 - (72/120))^2) / (1 - (0.067 \times (72/120))) = 10.00$   
 Northbound Raytown Road Right Lane  $d_1 = (0.5 \times 120 \times (1 - (72/120))^2) / (1 - (0.402 \times (72/120))) = 12.65$

$$\text{Northbound Raytown Road Center Lane } d_1 = (0.5 \times 120 \times (1 - (72/120))^2) / (1 - (0.219 \times (72/120))) = 11.05$$

$$\text{Northbound Raytown Road Left Lane } d_1 = (0.5 \times 120 \times (1 - (72/120))^2) / (1 - (0.022 \times (72/120))) = 9.73$$

$$\text{Westbound 67}^{\text{th}} \text{ Street Right Lane } d_1 = (0.5 \times 120 \times (1 - (36/120))^2) / (1 - (0.144 \times (36/120))) = 30.73$$

$$\text{Westbound 67}^{\text{th}} \text{ Street Left Lane } d_1 = (0.5 \times 120 \times (1 - (36/120))^2) / (1 - (0.356 \times (36/120))) = 32.92$$

$$\text{Eastbound 67}^{\text{th}} \text{ Street Right Lane } d_1 = (0.5 \times 120 \times (1 - (36/120))^2) / (1 - (0.247 \times (36/120))) = 31.75$$

$$\text{Eastbound 67}^{\text{th}} \text{ Street Left Lane } d_1 = (0.5 \times 120 \times (1 - (36/120))^2) / (1 - (0.051 \times (36/120))) = 29.86$$

$$\text{Southbound Raytown Road Right Lane } d_2 = 900 \times 1.0 \times ((0.305 - 1) + \text{SQRT}(((0.305 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.305) / (1750 \times 1.0)))) = 0.036$$

$$\text{Southbound Raytown Road Center Lane } d_2 = 900 \times 1.0 \times ((0.311 - 1) + \text{SQRT}(((0.311 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.311) / (1755 \times 1.0)))) = 0.037$$

$$\text{Southbound Raytown Road Left Lane } d_2 = 900 \times 1.0 \times ((0.067 - 1) + \text{SQRT}(((0.067 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.067) / (1667 \times 1.0)))) = 0.006$$

$$\text{Northbound Raytown Road Right Lane } d_2 = 900 \times 1.0 \times ((0.402 - 1) + \text{SQRT}(((0.402 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.402) / (1663 \times 1.0)))) = 0.058$$

$$\text{Northbound Raytown Road Center Lane } d_2 = 900 \times 1.0 \times ((0.219 - 1) + \text{SQRT}(((0.219 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.219) / (1728 \times 1.0)))) = 0.023$$

$$\text{Northbound Raytown Road Left Lane } d_2 = 900 \times 1.0 \times ((0.022 - 1) + \text{SQRT}(((0.022 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.022) / (1642 \times 1.0)))) = 0.002$$

$$\text{Westbound 67}^{\text{th}} \text{ Street Right Lane } d_2 = 900 \times 1.0 \times ((0.144 - 1) + \text{SQRT}(((0.144 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.144) / (1742 \times 1.0)))) = 0.014$$

$$\text{Westbound 67}^{\text{th}} \text{ Street Left Lane } d_2 = 900 \times 1.0 \times ((0.356 - 1) + \text{SQRT}(((0.356 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.356) / (1684 \times 1.0)))) = 0.047$$

$$\text{Eastbound 67}^{\text{th}} \text{ Street Right Lane } d_2 = 900 \times 1.0 \times ((0.247 - 1) + \text{SQRT}(((0.247 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.247) / (1714 \times 1.0)))) = 0.028$$

$$\text{Eastbound 67}^{\text{th}} \text{ Street Left Lane } d_2 = 900 \times 1.0 \times ((0.051 - 1) + \text{SQRT}(((0.051 - 1)^2 + ((8 \times 0.04 \times 1.0 \times 0.051) / (1684 \times 1.0)))) = 0.005$$

$$\text{Southbound Raytown Road Right Lane } d = (11.75 \times .576) + 0.036 + 0 = 6.804$$

$$\text{Southbound Raytown Road Center Lane } d = (11.80 \times .576) + 0.037 + 0 = 6.834$$

$$\text{Southbound Raytown Road Left Lane } d = (10.00 \times .576) + 0.006 + 0 = 5.766$$

$$\text{Northbound Raytown Road Right Lane } d = (12.65 \times .576) + 0.058 + 0 = 7.344$$

$$\text{Northbound Raytown Road Center Lane } d = (11.05 \times .576) + 0.023 + 0 = 6.388$$

$$\text{Northbound Raytown Road Left Lane } d = (9.73 \times .576) + 0.002 + 0 = 5.606$$

$$\text{Westbound 67}^{\text{th}} \text{ Street Right Lane } d = (30.73 \times .986) + 0.014 + 0 = 30.314$$

$$\text{Westbound 67}^{\text{th}} \text{ Street Left Lane } d = (32.92 \times .986) + 0.047 + 0 = 32.506$$

$$\text{Eastbound 67}^{\text{th}} \text{ Street Right Lane } d = (31.75 \times .986) + 0.028 + 0 = 31.334$$

Eastbound 67<sup>th</sup> Street Left Lane  $d = (29.86 \times .986) + 0.005 + 0 = 29.447$

Using Exhibit 16-2 of the Highway Capacity Manual (2000), the Level of Service (LOS) for Raytown Road = A and the LOS for 67<sup>th</sup> Street = C.

- 4) It is anticipated that the development will generate very few trips that are not already part of a previously initiated trip, especially during peak hours. Vehicles entering the development will likely stop for gas and / or convenience items as part of a trip to or from home or work. As such, the level of service will be minimally affected and will remain as determined in item number 3.
- 5) Existing conditions do not allow for any significant geometric changes to the adjacent roadways. The location of the existing left turn lane at westbound 67<sup>th</sup> Street precludes creation of a left turn lane onto the development site. The most significant change involves removal of two of the three existing driveways at 67<sup>th</sup> Street. The remaining driveway should have the lazy back curb removed as part of the driveway re-configuration.
- 6) According to information provided by the Public Works Department, 67<sup>th</sup> Street was overlaid in 2003 and Raytown Road was overlaid in 2011. The pavement at 67<sup>th</sup> Street is showing some deterioration in the form of cracks running both laterally and longitudinally. The pavement at Raytown Road is showing some longitudinal cracking but appears to be in much better shape than that at 67<sup>th</sup> Street. The curbs immediately adjacent to the proposed development are in good shape visually and should not require maintenance at this time. Public Works will require installation of a sidewalk at 67<sup>th</sup> Street along the length of the property.

If you have any questions, please call.

Yours truly,



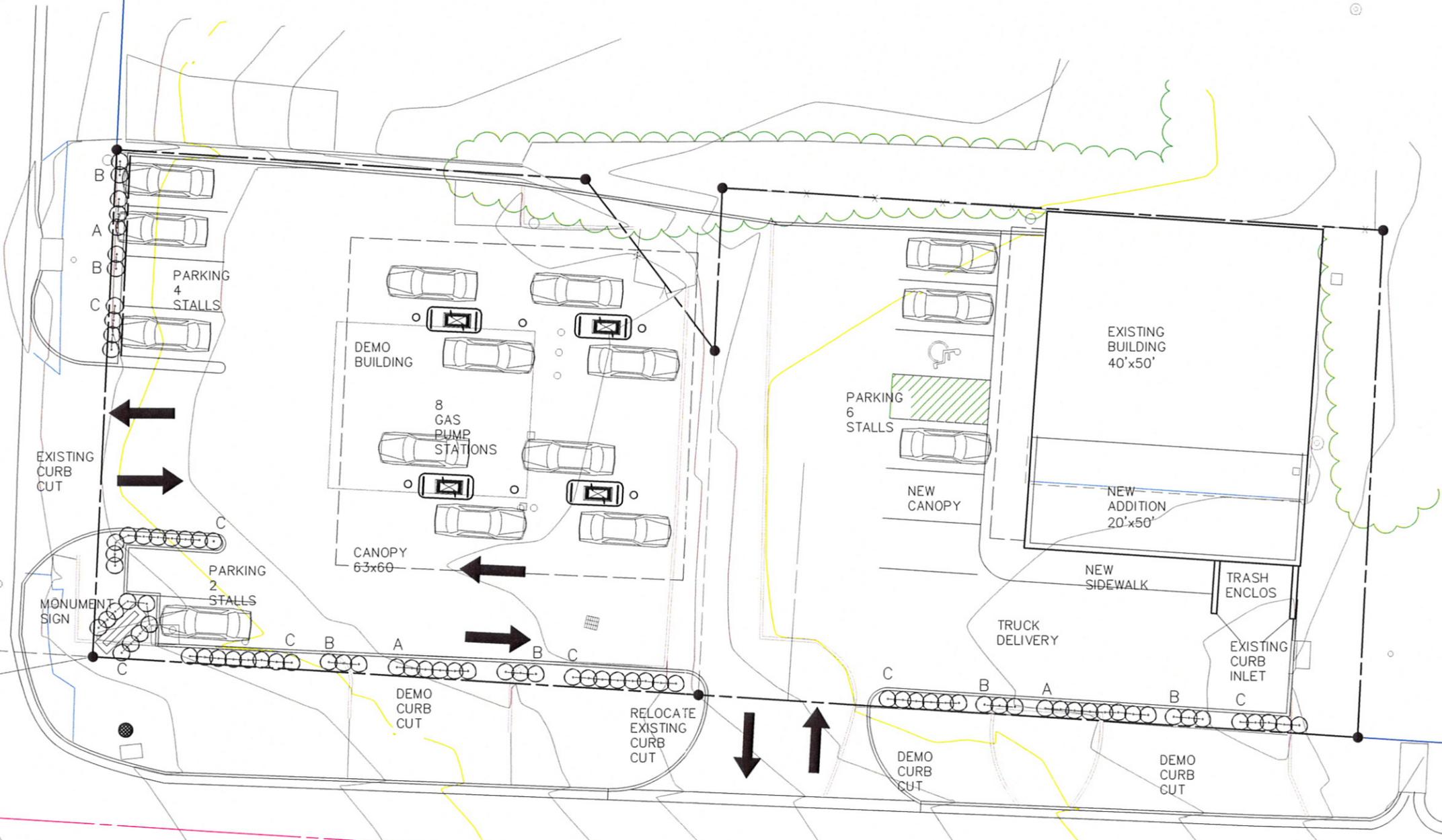
Albert Hermans, P.E.



- A/C
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- AIR CONDITIONER
  - ELECTRIC METER
  - FLAG POLE
  - GATE
  - GAS METER
  - GUARD POST
  - IRON GRATE
  - LIGHT POLE
  - POWER POLE
  - SIGN POST
  - TRAFFIC SIGNAL
  - TRAFFIC SIGNAL MANHOLE
  - WATER METER
  - WATER VALVE
  - YARD HYDRANT
  - REINFORCED CONCRETE BOX CULVERT
  - REINFORCED CONCRETE PIPE
  - FENCE
  - OVERHEAD POWER LINE
  - BURIED GAS LINE
  - BURIED TELEPHONE LINE
  - WATER LINE
  - SANITARY SEWER LINE
  - STORM SEWER LINE

**€ RAYTOWN ROAD**

**€ EAST 67TH STREET**



**1 SITE PLAN**  
 AS SCALE: 1/16" = 1'-0"  
 0 5' 10' 20'





**ENGINEERING, INC.**

Consulting Structural and Civil Engineers

5907 Raytown Trafficway

Raytown, Missouri 64133

816-356-1445 Fax: 816-356-1477

May 10, 2016

Mr. Jim Sullivan  
Sullivan Palmer Architects  
8621 Johnson Drive  
Merriam, KS 66202

**Re: Traffic Impact – 10014 East 67<sup>th</sup> Street, Raytown, MO**

Dear Mr. Sullivan:

This letter will address traffic information for the above referenced site and surrounding area as required by the City of Raytown for your permit application. The Traffic Impact Study Policy adopted by the Raytown Planning and Zoning Commission on June 15, 2000 will be used to evaluate the anticipated traffic generated by the facility.

- 1) The site under consideration currently consists of two existing buildings bounded on the north by a house and some out buildings, on the south and west by 67<sup>th</sup> Street and Raytown Road respectively, and on the east by Rayview Dental Group. Cedar Avenue is located on the east side of Rayview Dental Group and 68<sup>th</sup> Street is located 320 feet to the south of 67<sup>th</sup> Street. There is a 22 foot wide driveway off Raytown Road north of the property serving the house and out buildings. There is a 29 foot wide driveway east of the property serving Rayview Dental. There is a 37 foot wide driveway on the south side of 67<sup>th</sup> Street serving a seven storefront strip center. Both buildings on the property are currently vacant but in the past the west building was used as a restaurant and the east building appears to have been a small office. The proposed use will be a convenience store with four fuel pump stations.
- 2) Raytown Road is classified as a collector street and 67<sup>th</sup> Street is classified as a local street.
- 3) Raytown Road consists of two lanes each north-bound and south-bound. There are left turn lanes in each direction at the intersection with 67<sup>th</sup> Street which are signal controlled along with the rest of the intersection. 67<sup>th</sup> Street consists of one lane each direction with left turn lanes at the intersection with Raytown Road. The intersection of Cedar Avenue with 67<sup>th</sup> Street is a Tee with a stop sign at the south-bound lane of Cedar. The posted speed limits are 35 MPH on Raytown Road and 30 MPH on 67<sup>th</sup> Street. Sight distance from the proposed west driveway is 570 feet to the south and 1100 feet to the north. Sight distance from the proposed south driveway is 400 feet to the west and 650 feet to the east.
- 4) The recommended minimum sight distance is 200 feet for 30 MPH streets and 250 feet for 35 MPH streets, which are within the existing distances available.

The minimum recommended two-way drive width is generally 24 feet. The maximum recommended two-way drive width is generally 35 feet. There is a driveway 70 feet north of the west driveway and another approximately 135 feet east of the south driveway. There is a driveway approximately 10 feet west across the street from the south driveway. All distances are center to center.

- 5) The estimated number of vehicle trips this development is expected to generate is 109 during a PM peak hour. This is based on 8 fueling stations. A factor of 13.57 trips per fueling station was used to derive the peak hour estimate (Trip Generation Manual, 7<sup>th</sup> Edition, Institute of Transportation Engineers, Section 945 – Gasoline Service Station with Convenience Market).

Since the anticipated number of peak hour trips is greater than 100, the remaining 6 items in the policy will need to be addressed. The remainder of the traffic study will be submitted within the next 60 days or so.

If you have any questions, please call.

Yours truly,



Albert Hermans, P.E.



Case Number PE-20016-006  
Date Received \_\_\_\_\_  
Map Page \_\_\_\_\_

**CITY OF RAYTOWN  
APPLICATION FOR CONDITIONAL USE PERMIT**

**PART I Background Information**

1. This request applies to property at the following address:

6709 Raytown Rd

2. The name(s), address(es), and phone number(s) of the property owners: (As listed on the deed)

Name	Address	Phone
<u>Aim Investments, LLC</u>	<u>14304 Robinson St., Overland Park, KS 66223</u>	<u>(510) 682-5802</u>
<u>Sameer Vishnani</u>		

3. We, the property owner(s), do hereby appoint the following person as our agent during consideration of our request:

Name	Address	Phone/Email
<u>James Sullivan, Sullivan Palmer Architects</u>	<u>8621 Johnson Dr. Merriam, KS 66202</u>	<u>(913) 888-8540</u>

4. The property is currently being used for the following purposes:

Property is Vacant

5. Zoning classification of the property Neighborhood Commercial (NC)

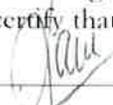
6. Specify the use desired for the property: Fueling Station w/ Canopy

7. Please list all existing structures and their heights located on the property:

<u>Structure</u>	<u>Height</u>
<u>West building to be demolished</u>	

<u>East building</u>	<u>40' X 50'</u>
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8. We, the undersigned, do hereby authorize the submission of this application and associated documents, and do hereby certify that all the information contained therein is true and correct. (Signatures of property owners)

 SAMEER VISHNANI

**PART II Conditional Use Permit Information**

In considering an application for a conditional use permit, the city shall give consideration to the health, safety, morals, comfort and general welfare of the inhabitants of the city, including but not limited to the following factors:

1. The stability and integrity of the various zoning districts;
2. Conservation of property values;
3. Protection against fire and casualties;
4. Observation of general police regulations;
5. Prevention of traffic congestion;
6. Promotion of traffic safety and the orderly parking of motor vehicles;
7. Promotion of the safety of individuals and property;
8. Provision for adequate light and air;
9. Prevention of overcrowding and excessive intensity of land uses;
10. Provision for public utilities and schools;
11. Invasion by inappropriate uses;
12. Value, type and character of existing or authorized improvements and land uses;
13. Encouragement of improvements and land uses in keeping with overall planning; and
14. Provision for orderly and proper renewal, development and growth.

The information provided by the applicant to the following questions is an opportunity to justify approval of a conditional use permit based on the above listed factors.

If the space provided is not adequate, the applicant may attach additional pages. The applicant is also encouraged to submit any other pertinent information, such as photographs, drawings, maps, statistics, legal documents, and letters of support.

A. The proposed conditional use will be in keeping with the character of the neighborhood because:

**A Convenience Store with fuel is a basic necessity of any neighborhood. It will provide a lot of convenience to the community. It will add to the neighborhood based retail already established along Raytown Road.**

B. The proposed use will be consistent with the uses and zoning on nearby parcels because:

**The proposed uses are a perfect combination and will add to the neighboring strip malls and retail stores. However this type of neighborhood convenience store is currently poorly served in the local community.**

C. This property is more suited for the proposed use than its current uses because:

**Both the buildings have been vacant for some time now. The building on the east that has been proposed for a convenience store has a history of similar use at some point in the past. Adding fueling station will add to the convenience. Also, there is no gas station for at least 2 miles south on Raytown Road, 2 miles north except for one smaller facility, 1 mile to the east on 67<sup>th</sup> Street where it merges with Woodson Road and nothing on it either and at least a mile to the west on 67<sup>th</sup> Street where it is all residential.**

D. The proposed conditional use could have the following detrimental effects on nearby parcels:

**None whatsoever. Only positive effects.**

E. Prior to submitting this application, the property has been vacant for:

**Two years.**

F. If the application is denied, the property owner(s) will face the following hardships:

**There has been a lot of time, money and hope invested on this project thus far. A denial will demoralize the entrepreneurship of a small business owner and will cause financial hardship. The property might just sit there vacant for another two years and will not serve any good to anyone as a blight to the neighborhood.**

G. Public facilities and utilities are adequate to serve the proposed use as follows:

**Yes, the existing structures on the site are served by 67<sup>th</sup> Street, a good feeder street, and Raytown Road, have all utilities necessary which currently feed the existing structures and will be adequate for the operation of the new development.**

H. Additional comments:

**We are really excited and optimistic about completing this project as planned. The proposed use will add value to the other surrounding businesses and will generate revenue to the city as well. I have owned and operated convenience stores since 16 years. At present we have three other successful locations in the Kansas City area. Our vision is to excel in the customer service experience and maintain the property clean.**



ELECTRONICALLY RECORDED  
JACKSON COUNTY, MISSOURI  
02/12/2015 01:53:50 PM  
WD FEE: \$ 24.00 2 Pages

INSTRUMENT NUMBER:  
2015E0012230

### General Warranty Deed (Individual)

**This Deed**, made and entered into on February 9, 2015, by and between **Grantor(s)**: Vincent C. Vitale and Rosemary Vitale, husband and wife whose address is 6709 Raytown Road, Raytown, MO 64133 of the County of Jackson, State of MO and **Grantee(s)**: AIM Investments, LLC limited liability company of the County of Jackson, State of KS. **Mailing Address of the Grantee(s)**: 14304 Robinson Street, Overland Park, KS 66223

**Witnesseth**, that the Grantor(s), for and in consideration of the sum of One Dollar (\$1.00) and other valuable consideration paid by the Grantee(s), the receipt of which is hereby acknowledged, do(es) by these presents **Grant, Bargain and Sell, Convey and Confirm** unto the Grantee(s), the following described Real Estate, situated in the County of Jackson and State of Missouri, to-wit:

TRACT I:

A TRACT OF LAND SITUATED IN THE NORTHWEST  $\frac{1}{4}$ , OF SECTION 9, TOWNSHIP 48, RANGE 32, RAYTOWN, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST RIGHT-OF-WAY LINE OF RAYTOWN ROAD, 60 FEET SOUTH OF THE SOUTHWEST CORNER OF LOT 1, DRAPER'S SUBDIVISION; THENCE CONTINUING SOUTH ALONG SAID RIGHT-OF-WAY A DISTANCE OF 90.08 FEET TO A POINT 40 FEET NORTH OF THE CENTERLINE OF PAVEMENT OF 67TH STREET; THENCE EAST, PARALLEL TO AND 40 FEET NORTH OF SAID CENTERLINE A DISTANCE OF 120 FEET, THENCE NORTH AND PARALLEL TO THE EAST RIGHT-OF-WAY LINE OF RAYTOWN ROAD A DISTANCE OF 62 FEET; THENCE NORTHWESTERLY A DISTANCE OF 35.84 FEET; THENCE WEST, PARALLEL TO AND 60 FEET SOUTH OF THE SOUTH LINE OF LOT 1, DRAPER'S SUBDIVISION, A DISTANCE OF 95 FEET TO THE POINT OF BEGINNING, AND EXCEPT ANY PART THEREOF IN THE RIGHT-OF-WAY CONVEYED TO THE STATE OF MISSOURI, BY THE DEED FILED APRIL 15, 1971, AS DOCUMENT NO. I-82795 IN BOOK I-249 AT PAGE 250.

Subject to Building lines, easements, restrictions and conditions of record, if any, and to any zoning law or ordinance affecting the herein described property.

**To Have and To Hold** the same, together with all rights and appurtenances to the same belonging, unto the Grantee(s) and to the heirs and assigns of such Grantee(s) forever.

The Grantor(s) hereby covenanting that Grantor(s) and the heirs, executors, administrators, and assigns of such Grantor(s), shall and will **Warrant and Defend** the title to the premises unto the Grantee(s), and to the successors and assigns of such Grantee(s) forever, against the lawful claims of all persons whomsoever, excepting, however, the general taxes for the calendar year and thereafter, and special taxes becoming a lien after the date of this deed.

First American Title  
400 State Line Rd., Ste. 204  
Prairie Village, KS 66208

File No.: 1372421





ELECTRONICALLY RECORDED  
JACKSON COUNTY, MISSOURI  
**12/22/2015 09:11:59 AM**

WD FEE: \$ 27.00 3 Pages

INSTRUMENT NUMBER:  
**2015E0114353**

## WARRANTY DEED

**THIS INDENTURE**, Made this 19<sup>th</sup> day of December, 2015, by and between

Grantor: Stephen J. Schranz, Jr. AKA Steve Joseph Schranz and Tamara Schranz,  
husband and wife

AND

Grantee: AIM Investments, LLC, a Missouri limited liability company  
whose mailing address is: 14304 Robinson Street, Overland Park, KS 66223

**WITNESSETH:** THAT THE SAID GRANTOR, in consideration of the sum of Ten Dollars, the receipt of which is hereby acknowledged does hereby these presents, Grant, Bargain, Sell and Convey unto the said GRANTEE, its successors and assigns, all their undivided interest in and to the following described real estate situated in the County of Jackson and the State of Missouri, to-wit:

See Attached Exhibit "A"

SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, IF ANY, NOW OF RECORD.

**TO HAVE AND TO HOLD THE SAME**, Together with all and singular the tenements, hereditaments an appurtenances thereunto belonging or in any wise appertaining, forever. And said party for their heirs and assigns, does hereby covenant, promise and agree to and with said GRANTEE, that at the delivery of these presents they are lawfully seized in their own right of an absolute and indefeasible estate of inheritance, in fee simple, of and in all and singular the above granted and described premises with the appurtenances that the same are free, clear, discharge and unencumbered of and from all former and other grants, titles, charges, estates, judgments, taxes, assessments and encumbrances, of what nature or kind whatsoever: and that they will warrant and forever defend the same unto the said GRANTEE, its successors and assigns forever, against the lawful claims and demands of all persons whomsoever.









## Request for Board Action

**Date:** August 16, 2016

**Bill No.** 6414-16

**To:** Mayor and Board of Aldermen

**Section No.:** XIII

**From:** Ray Haydaripoor, Acting Director of Development & Public Affairs

**Department Head Approval:** \_\_\_\_\_

**Finance Director Approval:** \_\_\_\_\_ (only if funding requested)

**City Administrator Approval:** \_\_\_\_\_

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**Action Requested:** Adopt an ordinance to approve a final site plan for property located at 9109 East 63rd Street zoned Neighborhood Commercial (NC-P).

**Recommendation:** The Planning & Zoning Commission by a vote of 6 in favor and 0 against recommends approval of the final site plan subject to the following conditions:

1. The buffer as set out in the NC District shall not be required and the location of the building shall be as determined by the Board of Aldermen.
2. Parking shall be permitted in front of the building.
3. The planting area along 63<sup>rd</sup> Street shall be increased to a minimum of 10 feet.
4. The width of the parking lot shall be reduced from 76 feet to 72 feet.
5. The building shall be moved north 2.4 feet to allow more separation between it and the future residences to the south.
6. A front building setback greater than 10 feet shall be permitted.
7. The applicant shall prepare a complete sign package in accordance with the sign regulations and submit it to Staff for review and approval.
8. The applicant shall replace the Downy Hawthorns along 63<sup>rd</sup> Street and in the SW corner of the parking lot with a different variety.
9. The applicant shall be responsible for the maintenance and replacement of all landscaping and fencing as needed.
10. Add one additional tree to the west side and two to the south side of the building.
11. Revise the site plan as approved by the Planning and Zoning Commission and the Board of Aldermen and submit five copies to Staff for review and approval of the changes.

**Analysis:** Greg Stervinou Construction Inc. is seeking to build a Dollar General retail store on a vacant lot approximately one acre in area which is zoned Neighborhood Commercial with a Planned Overlay District (NC-P). This property was rezoned in January 2016 by the Board of Aldermen. The Board of Aldermen set three conditions in approving the rezoning:

1. That the site plan comply with the Central Business District Design Standards.
2. That the final site plan be presented for approval to the Planning and Zoning Commission and the Board of Aldermen.
3. That the retail store be prohibited from selling alcohol.

**Alternatives:** The alternative to the recommendation of the Planning & Zoning Commission would be to deny the final site plan; or amend, add or delete the conditions.

**Budgetary Impact:** This application does not require the city to provide any funding. The proposed business would provide an increase in sales tax revenue to city and other tax entities.

Not Applicable

**Additional Reports Attached:**

- Staff Report for August 4, 2016 Planning & Zoning Commission meeting.
- Minutes of the August 4, 2016 Planning & Zoning Commission meeting.

# STAFF REPORT

**To:** The City of Raytown Planning and Zoning Commission  
**FROM:** Ray Haydaripoor  
Acting Director of Development and Public Affairs  
**DATE:** August 4, 2016  
**SUBJECT:** Agenda Item No. 5.B: Application proposing a final site plan for the Dollar General located at 9109 E 63<sup>rd</sup> St, zoned (NC -P) and Low Density Residential (R-1).

## BACKGROUND INFORMATION:

Greg Stervinou Construction Inc. is seeking to build a Dollar General retail store on a portion of a 1.37 acre area of vacant land which is zoned Neighborhood Commercial with a Planned Zoning Overlay District (NC-P) as well as Low Density Residential (R-1). This property was rezoned in January of 2016 as approved by the Board of Aldermen. The Board of Aldermen set three conditions for approval of the rezoning:

1. That the site plan comply with the Central Business District (CBD) Design Standards.
2. That the final site plan be presented for approval to the Planning and Zoning Commission and the Board of Aldermen.
3. That the retail store be prohibited from selling alcohol.

The northeast portion of the lot is committed to the commercial retail store. Three single-family residential lots along the south and west side of the property are proposed to be created. Two of the residential lots would extend along the west side of the property on which Dollar General is proposed to be constructed and the other residential lot would be to the south.



## APPLICATION FACTORS TO BE CONSIDERED

When considering a site plan the following criteria that should be considered in order to determine whether the application should be approved or denied.

## CHARACTER OF THE NEIGHBORHOOD

The character of the neighborhood varies as there is a mix of uses which consist of an offices to the east, senior residential living to the north, educational / school to the west and single-family and two-family residential to the south.

### **ZONING AND CURRENT USES OF NEARBY PROPERTY**

The following provides an overview of the zoning and existing land uses on properties surrounding the subject area:

	<u>ZONING</u>	<u>EXISTING LAND USES</u>
South:	R-1 & R-2	One and two-family residential
North:	R-3-P	Multi-tenant Senior Housing and single-family residential
East:	NC	Office
West:	R-1	Elementary School

### **SUITABILITY OF ZONING FOR CURRENT USE**

Section 50-188 of the NC District requires a buffer of 30' between or across the street from a residential district. On this site, the north, west and south property lines are adjacent to a residential district. Since the property has been rezoned to NC-P, the P being a Planned Zoning Overlay District, the Board of Aldermen can approve variations to the requirements in the NC District. The proposed site plan does not meet the buffer requirements and the applicant has requested that the buffer not be required, but that the setbacks control the separation. It should be pointed out that the right-of-way width for 63rd Street is 80 feet and it is unlikely that residential structures will be built on the north portion of the residential lots to the west. The proposed building sets back 20 feet from the south property line and 15 feet from the west property line.

The proposed building meets the height, area and yard regulations as set out in Section 50-187.

### **CENTRAL BUSINESS DISTRICT (CBD) DESIGN ELEMENTS**

The Board of Alderman approved the rezoning subject to the development complying with the CBD Design Standards. The following is a review of the proposed development relative to the Design Standards. Please note that this site is outside of the Town Square Neighborhood and many of the standards do not apply:

**PARKING:** Section 50-396.b requires parking for new development be located behind the building, however, the Board of Aldermen may approve an alternative. Parking is proposed in front of the building as shown on the site plan that was submitted when the property was rezoned. If parking is approved in front of the building, a planting area 10 feet in width is required between the parking area and the property line. The width of the planting area as shown on the site plan is 8.4 feet and it needs to be widened to 10 feet. This is critical because a vehicle can overhang two feet into the planting area, reducing the size of the sidewalk significantly. The proposed parking lot in front of the building shows a parking space depth of 20 feet and a driveway width of 36 feet. The typical standard for a parking space is 18 feet in depth and a driveway width of 24 feet for two-way traffic. There is more pavement than necessary to accommodate the parking. A vehicle may overhang the curb or parking stop by up to two feet. The intent is to provide easier traffic movement, but it is at the expense of green space, landscaping and increased storm water runoff. The front planting area needs to be increased to a minimum of 10 feet in width and the parking lot can be reduced from 76 feet in width to 60 feet in width. By doing this, the building could be moved further north from the rear property line to increase the separation between this commercial development and the future residences.

Furthermore, the proposed site plan has a schedule of parking spaces listed at 31 total spaces. Section 50-539 requires one parking space per 200 square feet or floor area for retail establishments. At 7,465 sq. ft., the proposed commercial development will need at least 37 total parking spaces.

The driveway entrance has been reviewed and approved by Public Works.

The site plan does show a pedestrian connection from 63<sup>rd</sup> Street to the store.

**BUILDING SETBACK:** Section 50-187 (b) requires a maximum building front setback of 10 feet. By permitting the parking to be in front of the building, it sets the building back much further. Since the proposed development is outside the Town Square Neighborhood, having the building set close to the street is less important.

**SITE FURNISHINGS:** Section 50-396 (13) requires site furnishings. The depth of the entrance sidewalk along the front of the building is more than adequate to provide amenities. The sidewalk on the east and west sides of the entrance is 18 feet in width. Site furnishings such as benches with backs, tables, fountains, planters or sculpture should be located in these areas to break up the starkness of the front of the building.

**SIGNS:** The site plan does not include a sign designs other than the sign on the front of the store. The applicant needs to submit a sign package for review and approval by staff.

**LANDSCAPE:** The Downy Hawthorn may not be the best choice for the planting area along 63<sup>rd</sup> Street and the southwest corner of the parking lot. Although some hawthorns do not have thorns, many do and a different tree might be better in those locations. At least one more tree should be added along the west side and two more along the south side of the building.

#### **DETRIMENTAL EFFECTS TO NEARBY PROPERTIES IF REZONING IS APPROVED**

As stated in the Raytown Zoning Ordinance, the NC District is a "commercial district intended to provide a location for miscellaneous retail, wholesale and businesses serving the consumer public and business." Though a retail store is proposed to be constructed on the northeast corner of the property restaurants and offices uses would also be allowed.

Commercial uses have the potential to generate more traffic, noise and in general be more intensive land uses in comparison to residential land uses. As a result, the applicant has stated to staff that the proposed commercial area is proposed to be located adjacent to the existing office building to the east and along 63<sup>rd</sup> Street, which, as previously described, is classified as an arterial street and intended to carry heavier volumes of traffic. Additionally, the applicant is proposing the three residential lots and commercial area to 'back up' to each other, which, according to the city's Comprehensive Plan is the recommended method for a change in land use.

The Zoning Ordinance states that when the NC District abuts a residential zoned area the following shall apply:

*"Every tract zoned NC that is adjacent to any zoning district with an "R" in its title shall have a buffer zone of at least thirty (30) feet along the boundary line between the two (2) districts, or if said boundary line is in the center of a street, along the edge of a street right-of-way abutting the NC district."*

This standard applies to the south, west and north sides of the area that is proposed to be rezoned to NC-P as it will abut the proposed R-1 zoned area and there is residentially zoned property on the north side of 63<sup>rd</sup> Street on which Bickford House senior housing is located. As indicated on the Landscape Plan (Sheet L1.1) in the submitted site development plan, landscaping is proposed along the south and west property lines between the commercial and residential zoned areas. The landscaping within this area is proposed to consist of Sugar Maple and Downy Hawthorn trees and shrubs. The applicant as part of the Planned Overlay District is proposing the width of the landscape area along the west side to be 25 feet wide and along the south side to be 20 feet rather than the required 30 feet stipulated in

the NC District. The narrower width is due to a proposed sanitary sewer line and easement that will be located immediately to the south of the landscaping and will provide service to each of the properties. The narrower landscape buffer is also proposed as a retaining wall is to be constructed along the south and west sides of the commercial area, which will help screen a portion of the commercial building. The retaining wall will be nine feet tall at the southwest corner of the building leaving eleven feet of the building visible above the retaining wall. The retaining wall will taper down to a five foot high wall at the southeast corner of the proposed commercial building, leaving fifteen feet of the building visible, and down to ground level at the northwest corner of the proposed commercial building. In addition, a six foot privacy fence will be constructed near the top of the retaining wall along the south and west sides of the proposed commercial building providing further screening of the commercial building. There is also nine feet wide area of landscaping proposed to be installed adjacent to 63<sup>rd</sup> Street that will consist of a Downy Hawthorn and Eastern Red Bud trees as well as a variety of shrubs between the trees.

Additionally, development of the property will result in increased storm water runoff. As a result, city code requires construction of a storm water detention facility so that properties downstream are not adversely impacted by increased storm water runoff. The site development plan indicates an above ground storm water detention facility will be constructed adjacent to the east property line on the commercially zoned property. The grading of the commercial property as well as a majority of the residential properties will direct storm water runoff into this detention basin. The detention basin will then discharge the collected storm water into the existing storm sewer system on 63<sup>rd</sup> Street. The Public Works Department has reviewed the submitted preliminary storm drainage plan and has approved it subject to submittal and approval of a final storm drainage study for the development.

#### **LENGTH OF TIME OF VACANCY**

To staff's knowledge the property has always been vacant.

#### **CONSIDERATION OF PUBLIC INTEREST**

Public Health: The city's existing sanitary sewer system is capable of accommodating the increased sewage from the commercial and residential development of the property. In addition, the city's existing storm sewer system is capable of handling the stormwater runoff from the development as long as a stormwater detention basin is constructed that will detain the increased stormwater runoff in accordance with adopted city design standards when the property is developed. Raytown Water Company has previously indicated that adequate water supply is available to serve the development of the property.

Public Safety: 63<sup>rd</sup> Street has limited sight distance that restricts the location of the driveway on the property to the eastern side. Due to the site distance issue, the two residential lots that each have rear yards that abut 63<sup>rd</sup> Street will be prohibited from having access onto 63<sup>rd</sup> Street. Instead, each of the residential lots will be able to safely access onto Blue Ridge Boulevard as do other residential lots in the area.

Public Welfare: The existing curb and gutter as well as sidewalk along 63<sup>rd</sup> Street are adequate to serve the development and will not need to be replaced. The portion of Blue Ridge Boulevard abutting the subject property, however, does not have curb and gutter or sidewalks. As a result, development of the property will require construction of curb and gutter as well as sidewalk along that portion of the property abutting Blue Ridge Boulevard. In addition, as indicated on sheet C1.1, the applicant will extend curb and gutter along Blue Ridge Boulevard approximately 20 feet east of the subject property and tie it into an existing storm sewer inlet.

#### **IMPACTS ON PUBLIC SERVICES AND UTILITIES**

Because the area surrounding the property is developed necessary utilities are available and capable of serving the property.

#### **CONFORMANCE WITH THE COMPREHENSIVE PLAN**

The Future Land Use Map in the Raytown Comprehensive Plan identifies the subject property as an area for two-family residential use. The approved NC zoning district does not conform to the Future Land Use Map in the city's Comprehensive Plan. The Comprehensive Plan provides the following locational guidelines for commercial development in Raytown:

Commercial sites should be located adjacent to arterials or major thoroughfares that provide needed ingress and egress in order to avoid congestion.

*The subject property abuts 63<sup>rd</sup> Street and Blue Ridge Boulevard. 63<sup>rd</sup> Street is classified as an arterial street while Blue Ridge Boulevard is classified as a collector street. The area of the subject property zoned NC-P will be accessed only from 63<sup>rd</sup> Street and will not have any access to / from Blue Ridge Boulevard. Therefore, the approved NC zoning complies with this commercial locational guideline.*

The location of major commercial uses should be coordinated with mass transit routes, high-density residential, employment and other intensive uses.

*The portion of the subject property rezoned to NC-P District is adjacent to a commercially zoned property to the east with an existing office building. Bickford House, which is a senior residential living facility, is located on the opposite side of 63<sup>rd</sup> Street, and has a higher density than one and two family residential developments. Mass transit in Raytown is provided by MetroFlex which has flexible routes that pick up and drop off riders at locations of their choosing. Therefore, the NC zoning complies with this commercial locational guideline.*

Commercial development should have required site design features that limit noise, lighting, and other activity so as to not adversely impact surrounding residential areas.

*The parking area will be on the north and east side of the proposed commercial building. In addition, exterior lighting on the property will be mounted on the building. The style of light fixtures to be installed are 'shoe-box' style fixtures that will direct the lighting downward rather than straight outward like flood lights would. No exterior lighting is proposed to be installed on the rear (south side) of the building abutting the proposed residential lots. Based upon these design features, the building is proposed to be used to screen traffic noise and exterior lot lighting from one and two family residential homes to the south. Sheet ES01 provides the photometric plan and the level of lighting at different locations on the subject property. Therefore, the NC zoning complies with this commercial locational guideline.*

Commercial development should occur in compact clusters versus extended strip developments.

*The portion of the subject property rezoned to NC-P District is adjacent to a commercially zoned property to the east with an existing office building. The remaining portion of the subject property to the south and west is zoned R-1 and developed for low density single family homes. In this context, the proposed NC-P District will maintain the commercial zoning in this area as a compact cluster and therefore complies with this commercial locational guideline.*

Commercially generated traffic should not feed directly onto local residential streets.

*There are no residentially classified streets abutting the subject property. Rather, the subject property abuts 63<sup>rd</sup> Street, which is classified as an arterial street and Blue Ridge Boulevard which is classified as*

*a collector street. The area of the subject property rezoned to NC-P will be accessed only from 63<sup>rd</sup> Street. Though streets classified as a collector street can be accessed by commercially zoned property, the site plan does not propose the NC-P zoned area to have access to / from Blue Ridge Boulevard as this portion of Blue Ridge Boulevard is only abutted accessed by residential homes. Therefore, the proposed NC zoning complies with this commercial locational guideline.*

Commercial use not located in planned centers or downtown, including large freestanding building, auto-related and non-retail uses should be guided to areas such as M-350 and other appropriate areas and streets where utilities can support such uses.

*The Public Works Department has reviewed the city's utility system in this area of Raytown and determined that it can adequately accommodate the type of uses allowed in the NC zoning district. Therefore, the NC zoning complies with this commercial locational guideline.*

Low-density office uses can serve as a transitional land use between residential uses and uses of a higher intensity.

*While the NC district would allow 'low density office uses', it also allows retail and restaurant uses. Therefore, the approved NC-P zoning district does not comply with this specific commercial locational guideline.*

*The commercial locational guidelines from the city's Comprehensive Plan as provided above are guidelines and not standards. As described above, the application for the site plan complies with 6 of the 7 commercial locational guidelines.*

#### Staff Recommendation:

It is the recommendation of staff that the proposed site be approved subject to the following conditions:

1. The buffer as set out in the NC district shall not be required and the location of the building shall be as determined by the Board of Aldermen.
2. Parking shall be permitted in front of the building.
3. Six additional parking spaces shall be created, or the building size will be reduced, to accommodate the minimum parking standards.
4. The planting area along 63<sup>rd</sup> Street shall be increased to a minimum of 10 feet.
5. The width of the parking lot shall be reduced from 76 feet to 60 feet.
6. The building shall be moved north to allow more separation between it and the future residences to the south.
7. A front building setback greater than 10 feet shall be permitted.
8. The applicant shall prepare a complete sign package in accordance with the sign regulations and submit it to Staff for review and approval.
9. Replace the Downy Hawthorns along 63<sup>rd</sup> Street and in the SW corner of the parking lot with a different variety.
10. The applicant shall be responsible for the maintenance and replacement of all landscaping as needed.
11. Add one additional tree to the west side and two to the south side of the building.
12. Revise the site plan as approved by the Planning and Zoning Commission and the Board of Aldermen and submit five copies to Staff for review and approval of the changes.

**MINUTES**  
**CITY OF RAYTOWN**  
**PLANNING AND ZONING COMMISSION MEETING**

**August 4, 2016**

**Raytown City Hall**  
**Board of Aldermen Chambers**  
**10000 East 59<sup>th</sup> Street**

**Raytown, Missouri 64133**

**7:00 pm**

**1. Welcome by Chairperson**

Tommy Bettis, Vice Chair, served as the Chairman in Kevin Wilson's absence.

**2. Call meeting to order and Roll Call.**

Wilson: Absent

Jimenez: Present

Stock: Absent

Bettis: Present

Robinson: Present

Lightfoot: Present

Hartwell: Present

Dwight: Absent

Meyers: Present

Also Present: Ray Haydaripoor, Acting Director of Development and Public Affairs, Scott Peterson, Permit Technician, June Van Loo, Permit Technician, Andy Boyd, Building Official, Ron Williamson, Planning Consultant, George Kapke, City Attorney.

**3. Approval of minutes - May 12, 2016 meeting**

a. Revisions- None

b. Motion- Mr. Lightfoot made a motion to approve the minutes.

c. Second- Mr. Robinson seconded Mr. Lightfoot's motion.

d. Additional Board Discussion- None.

e. Vote- Motion passed 4-0, with Mr. Bettis and Ms. Hartwell abstaining.

**4. Old Business - None**

**5. New Business:**

A. Application: Application for conditional use permit for a fueling station at 6709 Raytown Road in Raytown, MO.

Case No.: PZ-2016-006

Applicant: Aim Investments, LLC

1. Introduction of Application by Chair- Mr. Bettis introduced the application.

2. Open Public Hearing- Mr. Bettis opened the public hearing.

3. Explain Procedure for a Public Hearing and swear-in speakers- Mr. Kapke swore in those wishing to speak on the application.

4. Enter Additional Relevant City Exhibits into the Record:
  - a. Conditional Use Permit Application submitted by applicant
  - b. Publication of Notice of Public Hearing in Daily Record Newspaper.
  - c. Public Hearing Notices mailed to property owners within 185-feet of subject property
  - d. City of Raytown Zoning Ordinance, as amended
  - e. City of Raytown Comprehensive Plan
  - f. Staff Report on application for May 12, 2016 Planning & Zoning Commission meeting
  - g. Traffic Impact Analysis
  
5. Explanation of any exparte' communication from Commission members regarding the application-

Mr. Meyers stated that he had had some exparte' communication and that it would not impact his decision.
  
6. Introduction of Application by Staff-

Mr. Peterson introduced the application to the Commission. The applicant had previously been through the Planning and Zoning Commission on May 12<sup>th</sup>, 2016, and was recommended approval for a Conditional Use Permit to operate a fueling station at 6709 Raytown Rd. The Board of Aldermen requested that a Traffic Impact Analysis be completed and that the application go back to the Planning and Zoning Commission and Board of Aldermen upon completion of the Traffic Impact Analysis.

Mr. Peterson stated the applicant has revised their site plan to meet the previous Staff recommendations, and that Staff had one additional recommendation in light of the results of the Traffic Impact Analysis.
  
7. Presentation of Application by Applicant-

Jim Sullivan, of Sullivan Palmer Architects, presented the application on behalf of the applicant. Mr. Sullivan provided an update to the Traffic Impact Analysis, and stated that the applicant agreed with the recommendation that the driveway entrance onto Raytown Rd be labeled as right-in, right-out only.

Discussion included the frequency and hour of deliveries of fuel to the store, the ability of vehicles to get on the site with right-in, right-out only entry on Raytown Rd, and the safety of the site for vehicles and pedestrians.
  
8. Request for Public Comment-

Carol Hinesly spoke in opposition of the application. She was worried about the possibility of crime and traffic congestion at that intersection with the construction of the fueling canopy.
  
9. Additional Comment from Applicant, Additional Comment from Applicant, if necessary-

Mr. Sullivan responded to Ms. Hinesly's comments, and felt that the Traffic Impact Analysis showed that there would not be additional traffic generated with construction of the applicant property.
  
10. Additional Staff Comments and Recommendation-

Staff recommended that the application for a Conditional Use Permit be approved subject to the following conditions:

  - a) The trash enclosure shall be rotated so that the gates and opening face the parking lot and not the street in order to enable a trash truck more direct access to the trash container.
  - b) The exterior appearance of the trash enclosure shall match the exterior appearance of the building addition.

- c) Landscaping consisting of shrubs need to be planted along the south and east sides of the trash enclosure to help screen it. As a result, the curb line of the parking lot adjacent to the trash enclosure is to be changed so that the curb line on the east side of the parking lot aligns with the opening of the trash enclosure, rather than with the back of the trash enclosure.
- d) The type and size of the shrubs at the time of planting need to be submitted to for review and approval by staff to ensure compliance with the City's adopted landscape standards.
- e) The parking space located near the monument sign shall be removed.
- f) Building elevation drawings for the existing building, the proposed building addition and proposed canopy shall be submitted for staff review and approval.
- g) The exterior material of the building addition shall be indicated and shall match the exterior material and color of the remainder of the building.
- h) The driveway approach on Raytown Rd. will be clearly marked and identified as right-in, right-out only.
- i) The applicant will construct an eight (8) foot sidewalk along the property abutting 67<sup>th</sup> St.
- j) The applicant shall submit three copies of the revised site plan for staff review of changes approved by the Planning and Zoning Commission.

11. Board Discussion

Mr. Meyers asked for clarification on condition (g), that the building addition shall be required to match the exterior material of the building.

12. Close Public Hearing- Mr. Bettis closed the public hearing.

13. Board Decision to Approve, Conditionally Approve or Deny the Application.

- a. Motion- Mr. Lightfoot made a motion to approve the Conditional Use Permit subject to all Staff recommendations.
- b. Second- Mr. Jimenez seconded Mr. Lightfoot's motion.
- c. Additional Board Discussion- None.
- d. Vote- Motion passed 5-1.

B. Application: Application for Final Plat Site Plan for the Dollar General located at 9109 E. 63<sup>rd</sup> Street zoned (NC-P) and Low Density Residential (R-1)

Case No.: PZ-2016-0010

Applicant: Greg Stervinou Construction Company

- 1. Introduction of application.- Mr. Bettis introduced the application to the Commission.
- 2. Open Public Hearing- Due to this being a Final Site Plan a Public Hearing was not necessary.
- 3. Explain Procedure for a Public Hearing and swear-in-speakers- Mr. Kapke swore in those wishing to speak on the application.
- 4. Explanation of any exparte' communication from Commission members regarding the application.- Mr. Lightfoot stated that he had had some exparte' communication in the past, but that it would not affect his decision.
- 5. Introduction of Application by Staff-

Mr. Peterson introduced the application to the Commission. Greg Stervinou is looking to construct a Dollar General at the site located at 9109 E 63<sup>rd</sup> St. The applicant had previously been before the

Planning and Zoning Commission and the Board of Aldermen as part of a rezoning application. The Board of Aldermen approved the rezoning subject to three conditions:

- a) That the site plan comply with the Central Business District (CBD) Design Standards.
- b) That the final site plan be presented for approval to the Planning and Zoning Commission and the Board of Aldermen.
- c) That the retail store be prohibited from selling alcohol.

6. Presentation of Application by Applicant

Ralph Monaco, attorney, and Paul Miller, engineer for Davidson Architecture and Engineering, presented the application on behalf of the application. Mr. Monaco requested an exception to the staff recommendations that the number of parking spaces be added, that the size of the parking lot be reduced, and that the building be moved farther north.

7. Request for Public Comment- N/A.

8. Additional Comment from Applicant, Additional Comment from Applicant, if necessary- N/A

9. Additional Staff Comments and Recommendation

Staff recommended approval of the site plan subject to the following recommendations:

1. The buffer as set out in the NC district shall not be required and the location of the building shall be as determined by the Board of Aldermen.
2. Parking shall be permitted in front of the building.
3. Six additional parking spaces shall be created, or the building size will be reduced, to accommodate the minimum parking standards.
4. The planting area along 63<sup>rd</sup> Street shall be increased to a minimum of 10 feet.
5. The width of the parking lot shall be reduced from 76 feet to 60 feet.
6. The building shall be moved north to allow more separation between it and the future residences to the south.
7. A front building setback greater than 10 feet shall be permitted.
8. The applicant shall prepare a complete sign package in accordance with the sign regulations and submit it to Staff for review and approval.
9. Replace the Downy Hawthorns along 63<sup>rd</sup> Street and in the SW corner of the parking lot with a different variety.
10. The applicant shall be responsible for the maintenance and replacement of all landscaping as needed.
11. Add one additional tree to the west side and two to the south side of the building.
12. Revise the site plan as approved by the Planning and Zoning Commission and the Board of Aldermen and submit five copies to Staff for review and approval of the changes.

10. Board Discussion:

Additional discussion included the 9-foot retaining wall that had been in a previous site plan, but had since been removed, the location of the proposed PVC-vinyl privacy fence, and amending certain staff recommendations based on the Applicant's testimony.

11. Close Public Hearing- N/A

12. Board Decision to Approve, Conditionally Approve or Deny the Application.

- a. Motion- Mr. Jimenez made a motion to approve the site plan subject to staff recommendations, with the following amendments:

- i.** That staff recommendation number 3 be removed.
- ii.** That staff recommendation number 5 be amended to state that “The width of the parking lot shall be reduced from 76 feet to 72 feet.”
- iii.** That staff recommendation number 6 shall be amended to state that “the building shall be moved 2.4 feet north to allow more separation between it and the future residences to the south.

b. Second- Mr. Lightfoot seconded Mr. Jimenez’s motion.

c. Additional Board Discussion- None.

d. Vote- Motion passed unanimously 5-0.

**6.** Other Business- None.

**7.** Planning Projects Report- None.

**8.** Set Future Meeting Date – September 1, 2016

**9.** Adjourn

**AN ORDINANCE GRANTING APPROVAL OF THE SITE PLAN FOR A RETAIL STORE ON LAND LOCATED AT 9109 EAST 63<sup>RD</sup> STREET IN ACCORDANCE WITH THE PROVISIONS OF THE COMPREHENSIVE ZONING REGULATIONS FOR THE CITY OF RAYTOWN, MISSOURI**

**WHEREAS**, Application PZ-2016-010, submitted by Greg Stervinou Construction on behalf of Dollar General Corporation, ("Applicant") requesting site plan approval; and

**WHEREAS**, said site plan application also seeks the granting of certain variances to the Planned Overlay Zoning District as specified in Section 50-308 of the City of Raytown Zoning Ordinance, as amended; and

**WHEREAS**, said site plan application also seeks the approval of alternatives to the Central Business District (CBD) Design Guidelines as specified in Section 50-396 of the City of Raytown Zoning Ordinance, as amended; and

**WHEREAS**, the property to which the site plan application applies is located at 9109 East 63<sup>rd</sup> Street; and

**WHEREAS**, said site plan application, including the request for variances to the Planned Overlay District to which the applicant property applies as specified in Section 50-308 of the City of Raytown Zoning Ordinance, as amended, and the request for alternatives to the CBD Design Guidelines as specified in Section 50-396 of the City of Raytown Zoning Ordinance, was referred to the Planning Commission by the Board of Aldermen for review; and

**WHEREAS**, the Planning Commission reviewed the site plan on August 4th, 2016, and by a vote of 6 in favor and 0 against recommended to the Board of Aldermen that the site plan application be approved and that certain variances and alternatives being sought by the applicant to as specified in Sections 50-308 and 50-396 of the City of Raytown Zoning Ordinance, as amended, be granted; and

**WHEREAS**, in the manner prescribed by law, the Board of Aldermen held two readings on August 16, 2016 and September 6, 2016; and

**WHEREAS**, the Board of Aldermen, after considering the evidence presented during such readings have determined it is in the best interest of the citizens of the City of Raytown to approve said site plan and grant certain requested variances and alternatives as specified in Section 1 below;

**NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:**

**SECTION 1 –SITE PLAN APPROVAL.** That the site plan for property located at 9109 East 63<sup>rd</sup> Street and legally described in Exhibit "A" attached hereto and incorporated herein by reference is hereby approved subject to the following conditions:

1. The buffer as set out in the NC District shall not be required and the location of the building shall be as determined by the Board of Aldermen.
2. Parking shall be permitted in front of the building.
3. The planting area along 63<sup>rd</sup> Street shall be increased to a minimum of 10 feet.
4. The width of the parking lot shall be reduced from 76 feet to 72 feet.
5. The building shall be moved north 2.4 feet to allow more separation between it and the future residences to the south.
6. A front building setback greater than 10 feet shall be permitted.

- 7. The applicant shall prepare a complete sign package in accordance with the sign regulations and submit it to Staff for review and approval.
- 8. The applicant shall replace the Downy Hawthorns along 63<sup>rd</sup> Street and in the SW corner of the parking lot with a different variety.
- 9. The applicant shall be responsible for the maintenance and replacement of all landscaping and fencing as needed.
- 10. Add one additional tree to the west side and two to the south side of the building.
- 11. Revise the site plan as approved by the Planning and Zoning Commission and the Board of Aldermen and submit five copies to Staff for review and approval of the changes.

**SECTION 2 – SUBSTANTIAL CHANGES TO APPROVED SITE PLAN.** The Director of Development and Public Affairs may approve changes to the development so long as the changes are not substantial. Substantial changes may include, but are not limited to the following:

- 1. A change that conflicts with the conditions specified in Section 1 above.
- 2. A change that does not comply with the Central Business District Design Guidelines as specified in Section 50 of the City of Raytown Zoning Ordinance, as amended except for those standards which have been waived as described in Section 1 above.
- 3. A change that requires construction of additional public infrastructure beyond those proposed on the approved site development plan including streets, storm water, water or sanitary sewer facilities.

**SECTION 3 – REPEAL OF ORDINANCES IN CONFLICT.** All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

**SECTION 4 – SEVERABILITY CLAUSE.** The provisions of this ordinance are severable and if any provision hereof is declared invalid, unconstitutional or unenforceable, such determination shall not affect the validity of the remainder of this ordinance.

**SECTION 5 – EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after the date of its passage and approval.

**BE IT REMEMBERED** that the above was read two times by heading only, **PASSED and ADOPTED** by a majority of the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Jackson County, Missouri, this \_\_\_\_ day of September, 2016.

\_\_\_\_\_  
Michael McDonough, Mayor

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Teresa M. Henry, City Clerk

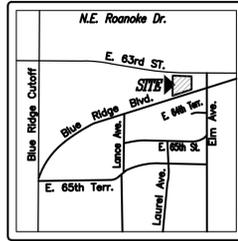
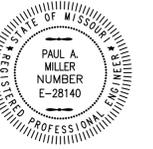
\_\_\_\_\_  
Joe Willerth, City Attorney

## Exhibit "A"

All that part of ADLER'S HIGH VIEW ADDITION, BLUECREST, WAIGHTS RESURVEY of BLUECREST, HALL'S 2nd ADDITION TO RAYTOWN, HALL'S ADDITION TO RAYTOWN, ROSS ACRES, RESURVEY Tract 2 J.J. ROBINSON FARM, MUIRSMITH ADDITION, RAYTOWN LANDING, ASKANAS PARK A Resurvey of Lots in ASKANAS HEIGHTS and ASKANAS HEIGHTS, subdivisions lying in Section 5 and Section 4, Township 48 North, Range 32 West, in Raytown, Jackson County, Missouri, described as follows:

BEGINNING at the Northeast corner of the Northeast Quarter of said Section 5; thence West along the North line of said Northeast Quarter, a distance of 1358.16 feet to a point on the East line of ADLER'S HIGH VIEW ADDITION; thence North along the East line of said ADLER HIGH VIEW ADDITION a distance of 37.09 feet to a point; thence West along the North line of said ADLER'S HIGH VIEW ADDITION a distance of 127.14 feet to the Northwest corner of Lot 1 of said ADLER'S HIGH VIEW ADDITION; thence South along the West line of said Lot 1 a distance of 227.44 feet to the Southwest corner thereof, said point also lying on the North line of Lot 2 of said ADLER'S HIGH VIEW ADDITION; thence West along the North line of said Lot 2 a distance of 77.26 feet to the Northwest corner thereof; thence South along the West line of Lots 2 through 11 of said ADLER'S HIGH VIEW ADDITION a distance of 832.16 feet to a point on the North right of way line of 60th Terrace; thence Northwesterly along the North right of way line of 60th Terrace a distance of 107.49 feet to a point; thence South a distance of 264.32 feet to a point on the South line of said ADLER'S VIEW HIGH ADDITION; thence West along the South line of said ADLER'S VIEW HIGH ADDITION a distance of 657.03 feet to a point on the East line of BLUE RIDGE SLOPES LOTS 37 to 58, INCLUSIVE a subdivision in Raytown, Jackson County, Missouri; thence South along the East line of said BLUE RIDGE SLOPES LOTS 37 to 58, INCLUSIVE a distance of 1412.96 feet to point on the North right of way line of 63<sup>rd</sup> Street; thence West along the North right of way line of 63<sup>rd</sup> Street a distance of 339.25 feet to a point; thence South a distance of 355.22 feet to a point; thence Southeasterly a distance of 222.71 feet to a point on the Northerly right of way line of 63<sup>rd</sup> Terrace; thence Northwesterly along a curve to the right having a Radius of 35.00 feet, through a central angle of 80 degrees 03 minutes 04 seconds with an arc length of 48.90 feet to the Southwest corner of Lot 6, WAIGHTS RESURVEY of BLUECREST; thence East along the South line of said Lot 6 a distance of 125.25 feet to the Southwest corner of Lot 5 of said WAIGHTS RESURVEY of BLUECREST; thence Northeasterly a distance of 487.45 feet to the Southeast corner of Lot 7, BLUECREST; thence Northeasterly a distance of 283.17 feet to Southeast corner of Lot 5, BLUECREST ; thence East a distance of 443.31 feet to the Southeast corner of Lot 1, BLUECREST, said point also lying on the Easterly right of way line of Evanston Avenue; thence Southwesterly along a curve to the right, having a radius of 2225.00 feet, through a central angle of 2 degrees 13 minutes 25 seconds an arc distance of 86.35 feet to a point; thence Southwesterly along a curve to the right, having a radius of 104.99 feet, through a central angle of 84 degrees 20 minutes 05 seconds an arc distance of 154.54 feet to a point; thence South a distance of 237.33 feet to a point on the Westerly prolongation of the common line for Lots 4 and 5 of said BLUECREST; thence Easterly along said common line for Lots 4 and 5 a distance of 332.18 feet to a point on the East line of said BLUECREST; thence North along the East line of said BLUECREST a distance of 169.55 feet to the common corner of Lots 12 and 13 of said HALLS 2nd Addition; thence East along the common line for said Lots 12 and 13 a distance 150.00 feet to a point on the West right of way line of Harold Avenue; thence South along the said West right of way line of Harold Avenue a distance of 452.14 feet to the intersection and prolongation of the South right of way line of 64th Terrace; thence East along the prolongation of said South right of way line a distance of 520.35 feet to a point on the West right of way line of the Chicago Rock Island and Pacific Railroad; thence Southerly along West line of said Chicago Rock Island and Pacific Railroad a distance of 382.62 feet to a point on the East right of way line of Raytown Road; thence North along the East right of way line of said Raytown Road a distance of 567.68 feet to a point on the South right of way of Cedar Avenue; thence East along the said South line of Cedar Avenue a distance of 119.30 feet to a point; thence continuing along said right of way line, Northeasterly along a curve to the left having a Radius of 342.36 feet, through a central angle of 16

degrees 48 minutes 27 seconds with an arc length of 100.43 feet to a point; thence continuing along said right of way line, Northeasterly along a curve to the left having a Radius of 330.72 feet, through a central angle of 33 degrees 36 minutes 41 seconds with an arc length of 194.01 feet to a point; thence continuing along said right of way line, Northeasterly along a curve to the left having a Radius of 242.57 feet, through a central angle of 17 degrees 10 minutes 19 seconds with an arc length of 72.70 feet to a point; thence continuing along said right of way line, Northeasterly along a curve to the left having a Radius of 242.93 feet, through a central angle of 17 degrees 22 minutes 19 seconds with an arc length of 73.66 feet to a point; thence continuing North along the East right of way line of said Cedar Avenue a distance of 190.70 feet to a point on the North right of way line of 63rd Terrace; thence East along the said North right of way line of 63rd Terrace, a distance of 100.32 feet to a point; thence continuing along said North right of way line, Southeasterly along a curve to the left having a Radius of 4864.53 feet, through a central angle of 3 degrees 38 minutes 36 seconds with an arc length of 309.33 feet to a point on the East line of said MUIRSMITH ADDITION; thence continuing East along said North right of way line a distance of 569.89 feet to a point on the West right of way line of Willow Street; thence North along the said West right of way line a distance of 293.11 feet to a point; thence North a distance of 72.78 feet to a point on the North Right of way line of 63rd Street; thence West along the said North right of way a distance of 235.48 feet to a point on the East line of RAYTOWN LANDING; thence North along the said East line a distance of 189.81 feet to a point; thence continuing East along said East line a distance of 75.25 feet; thence continuing North along said East line a distance of 408.21 feet to the Southwest corner of HODGE'S GARDENS and the common corner to Lots 11 and 12; thence Northeasterly along the common line for Lots 11 and 12 a distance of 264.06 feet to a point on the South right of way line of 61st Street Terrace; thence Northeast a distance of 73.86 feet to a point on the North right of way line of said 61st Street Terrace; thence East along the said North right of way line a distance of 208.62 feet to a point; thence Northeast along a curve to the left having a Radius of 25.04 feet, through a central angle of 88 degrees 37 minutes 28 seconds with an arc length of 38.73 feet to a point on the West right of way line of Willow Avenue; thence North along the West right of way line of said Willow Avenue a distance of 537.98 feet to a point on the South right of way line of 60th Terrace; thence West along the said South right of way line of 60th Terrace a distance of 217.25 feet to a point; thence West a distance of 49.82 feet to a point on the West right of way line of Hardy Street; thence South along the West right of way line of Hardy Street a distance of 91.59 feet to a point on the North right of way line of 61st Street; thence West along said North right of way line of 61st Street a distance of 1013.18 feet to a point on the West right of way line of Blue Ridge Blvd.; thence North along said West right of way line of Blue Ridge Blvd. a distance of 199.01 feet to a point; thence continuing along said West right of way line, Northeasterly along a curve to the right having a Radius of 16654.38 feet, through a central angle of 1 degree 56 minutes 17 seconds with an arc length of 563.34 feet to a point; thence continuing along said West right of way line, Northeasterly along a curve to the right having a Radius of 4209.72 feet, through a central angle of 5 degrees 35 minutes 21 seconds with an arc length of 410.66 feet to a point; thence North along said West right of way line a distance of 177.87 feet to a point on the North line of the Northwest Quarter of said Section 4; thence West along the North line of the Northwest Quarter of said Section 4, a distance of 983.76 feet to the POINT OF BEGINNING, and containing 10,080,815 Square Feet and 231.424 acres more or less.



**Legal Description:**

Tract A, Jacob Estates, a subdivision in Raytown, Jackson County, Missouri,  
Also being describes as follows: A tract of land being in the Northeast Quarter of the Southwest Quarter of Section 5, Township 48, Range 32, in Raytown, Jackson County, Missouri, also being a part of Lot 7, "Jacob Crouse Homestead", a subdivision in said City and County, being more particularly described as follows: Commencing at the Southeast Corner of Lot 7, said "Jacob Crouse Homestead"; thence along the East line of said Lot 7, North 00 degrees, 07 minutes, 51 seconds East, a distance of 784.87 feet to a point being on the South right-of-way of Blue Ridge Boulevard (as now established); thence North 00 degrees, 07 minutes, 31 seconds East, 105.38 feet to a point on the North right-of-way of Blue Ridge Boulevard (as now established), said point also being the Point of Beginning; thence along the said North right-of-way of Blue Ridge Boulevard, South 71 degrees, 43 minutes, 50 seconds West, a distance of 346.72 feet to a point being on the West line of Lot 7, said "Jacob Crouse Homestead"; thence along the West line of Lot 7, said "Jacob Crouse Homestead", North 00 degrees, 07 minutes, 51 seconds East, a distance of 347.77 feet to a point being on the South right-of-way of East 63rd St. Trafficway (as now established); thence departing the said West line, and along the said South right-of-way of East 63rd St. Trafficway (as now established), South 87 degrees, 48 minutes, 25 seconds East, a distance of 329.21 feet (Plat = 329.00 feet) to a point being on the East line of Lot 7, said "Jacob Crouse Homestead"; thence departing said South right-of-way, and along the East line of Lot 7, said "Jacob Crouse Homestead", South 00 degrees, 08 minutes, 01 seconds West, a distance of 226.48 feet (Deed = 226.29 feet) to the Point of Beginning of this tract of land, containing 2.169 acres or 94,462.96 square feet more or less and subject to all easements, reservations, restrictions of record.

**Utility Notes**

Boundary information, existing utilities and topographic features shown are based on information supplied by Borden Survey LLC and others.  
The existing utility locations shown on these plans are approximate and may not include all utility lines present. The contractor shall be responsible to call "1-800-344-7483" and coordinate field location of all existing underground utilities prior to beginning excavation/construction activities.  
The contractor shall be responsible for any damage to any utilities or their structures during excavation/construction activities.  
The contractor shall coordinate all main taps with the city.  
All utility services for this project shall be coordinated with respective utility company by contractor.  
All construction shall follow the City of Raytown Design and Construction Manual.

**Construction Notes**

- Proposed sanitary sewer main extension schematic.
- Proposed sanitary service.
- Proposed water service line schematic.
- Gas service line, location unspecified. Coordinate installation with utility company.
- Telephone/Cable/Data service lines, location unspecified. Coordinate installation and service with utilities/providers.
- Coordinate primary electric with utility, location unspecified.
- Construct monument sign, Re: signage plans
- Parking Bollards as shown on plans.
- Install storm sewer system, typ.
- Trash enclosure shall match building in color and material, Re: architectural plans.
- Construct type 'CG-1' curb & gutter where indicated (see legend).
- Construct type 'CG-1 dry' curb & gutter where indicated (see legend).
- Construct mountable curb/apron.
- Construct concrete commercial entrance.
- Construct 8" concrete pavement (see legend).
- Construct heavy-duty asphalt pavement (see legend).
- Construct standard asphalt pavement (see legend).
- Construct 5' concrete sidewalk in accordance with city standards (see legend).
- Construct public ADA accessible sidewalk ramp per city standards.
- Construct private ADA accessible ramp.
- Parking, ADA striping and universal symbol to be painted white with 4" stroke, typ.
- Proposed landscaping plantings, (see landscape plan).
- Construct 6' vinyl/PVC privacy fence, typ.
- Proposed stamped concrete crosswalk.
- Proposed modular block retaining wall.
- Construct 5'x5' concrete pad at exit door as shown on plans.
- Install residential driveways and sidewalk (three locations) per City standards.
- Install post indicator valve for fire protection serve.

**Floodplain Note**

The site lies entirely outside of the 100-year floodplain (zone x) as depicted on the fema flood insurance rate map (firm) community panel no. 0165F (City of Raytown). Map no. 29095C0165F date: September 29, 2006.

**Project Benchmark**

BM-1 EXISTING AREA INLET (5'X5')  
TOP (NW CORNER) ELEV. = 1018.11

**Utility Contacts**

- Sanitary - City of Raytown  
Phone: (816) 737-6012
- Water - Raytown Water Company  
Phone: (816) 356-0333
- Gas - Missouri Gas Energy  
Phone: (800) 582-1234
- Electric - KCP&L  
Phone: (816) 471-5275
- Cable - Comcast  
Phone: (816) 795-1100
- Phone - AT&T  
Phone: (913)383-4934
- Fiber - Google Fiber  
Phone: (866) 777-7550

**Variations from Neighborhood Commercial District**

- The 30' buffer between NC & R districts has not been met.
- The parking lot is located in front of the building.

**Construction Legend**

- heavy-duty asphalt pavement
- standard asphalt pavement
- concrete pavement
- concrete sidewalk
- type CG-1 dry curb & gutter
- type CG-1 curb & gutter

**Utility Legend**

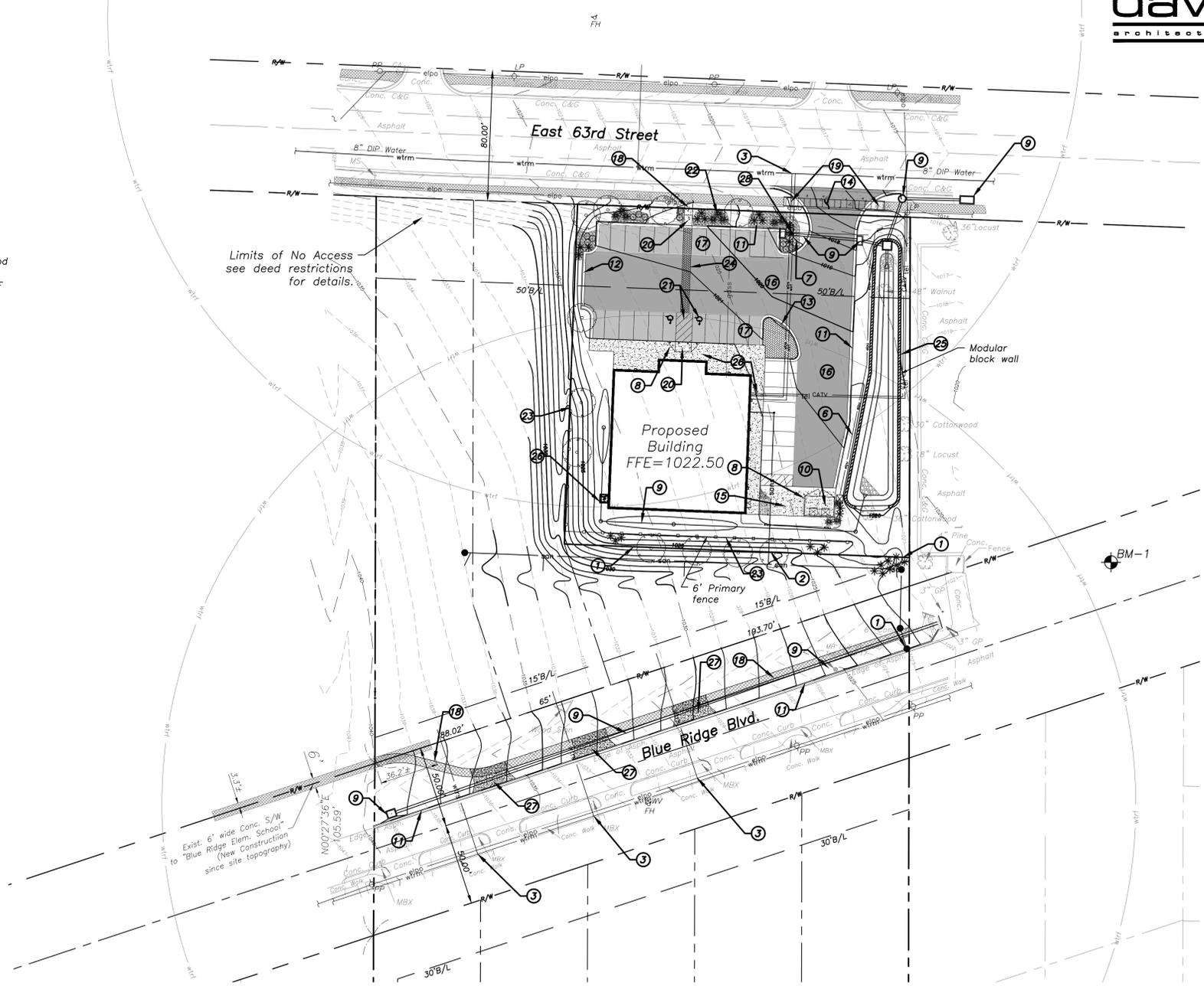
- existing
- proposed
- elpo - primary electric, overhead
- elsu - electric service, underground
- sans - sanitary sewer service
- gass - gas service
- wtrs - water service
- wtrf - water service (fire)
- wtrm - water main
- sanm - sanitary main
- fire hydrant

**Property Legend**

- right of way
- property lines
- lot lines

**Contour Legend**

- existing major contour
- existing minor contour
- proposed major contour
- proposed minor contour



**Project Synopsis:**

Total Lot 1 = 43,587.67 sqft.  
Building Size = 7,500 sqft.  
Building Lot Coverage = 17.21%  
Parking Stalls Provided = 31  
Standard = 29  
ADA = 2

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW 655Y300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW TM5495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE

Prepared For:  
CAPITAL GROWTH BUCHALTER, INC.  
Mark Bush  
361 Summit Blvd, Suite 110  
Birmingham, AL 35243  
205-263-4584  
mbush@gpre.com

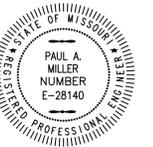


Site Plan  
**Dollar General**  
9109 East 63rd Street  
Raytown, Missouri

date 10.21.15  
drawn by DAE  
checked by DAE  
revisions  
08.05.16 1

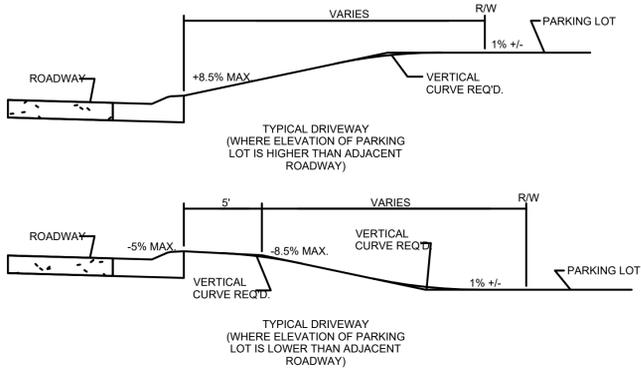
sheet number  
**CO1**  
drawing type preliminary  
project number 15101





GRADING REQUIREMENTS	
1. DELIVERY TRUCK UNLOADING ZONE/DUMPSTER AREA:	
PREFERRED SLOPE =	0.50%
MINIMUM SLOPE =	0.50%
MAXIMUM SLOPE =	1.00%
2. DELIVERY TRUCK PARKING AREA:	
PREFERRED SLOPE =	1.25%
MINIMUM SLOPE =	1.25%
MAXIMUM SLOPE =	2.50%
3. CUSTOMER PARKING AREAS:	
PREFERRED SLOPE =	2.00%
MINIMUM SLOPE =	1.00%
MAXIMUM SLOPE =	3.50%
NOTE: ANY SLOPE ABOVE 3.50% MUST HAVE PRIOR WRITTEN APPROVAL BY DOLLAR GENERAL STORE CONSTRUCTION DEPT.	
4. HANDICAP PARKING AREAS:	
PREFERRED SLOPE =	1.00%
MINIMUM SLOPE =	1.00%
MAXIMUM SLOPE =	2.00%
NOTE: SLOPE SHALL NOT EXCEED 2.00% IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS, ACCESS AISLES AND ROUTE TO BLDG.	
5. SIDEWALKS:	
PREFERRED SLOPE =	2.00%
MINIMUM SLOPE =	1.00%
MAXIMUM SLOPE =	2.00%
6. ENTRY DRIVE/DRIVEWAY:	
NOTES:	
1. SEE DRIVEWAY DETAILS BELOW.	
2. GRADES WITH HIGHWAYS/STREET RIGHT-OF-WAYS SHALL MEET JURISDICTIONAL REQUIREMENTS.	
3. THE "LEAST" PERCENT GRADE REQUIREMENTS IN NOTES 1 & 2 ABOVE SHALL GOVERN.	
7. ON-SITE UNIMPROVED (NON-PAVED) AREAS (WITHIN 6' OF BUILDING & PAVED AREAS):	
PREFERRED SLOPE =	5.00%
MINIMUM SLOPE =	2.00%
MAXIMUM SLOPE =	12.50%
NOTES:	
1. THE FFE OF BUILDING SHALL BE 6" ABOVE FINISHED GRADE AT EXTERIOR PERIMETER OF BUILDING.	
2. TRANSITION GRADES TO CONCRETE DOOR STOOPS AS REQUIRED.	
8. ON-SITE UNIMPROVED (NON-PAVED) AREAS (BEYOND 6' OF BUILDING & PAVED AREAS):	
PREFERRED SLOPE =	2.00%
MINIMUM SLOPE =	0.50%
MAXIMUM SLOPE =	25.00% (4:1)
9. OFF-SITE UNIMPROVED AREAS:	
NOTE: GRADES WITHIN HIGHWAY/STREET RIGHT-OF-WAYS SHALL MEET JURISDICTIONAL REQUIREMENTS.	
10. OFF-SITE DRAINAGE CONDUITS AND DITCHES:	
NOTE: OFF-SITE DRAINAGE CONDUIT SHALL BE SIZED, AND OFF-SITE DITCHES SHALL BE GRADED IN ACCORD WITH JURISDICTIONAL REQUIREMENTS.	

- GRADING GENERAL NOTES**
- PREFERRED GRADING PLAN SHOWN HEREIN IS PROVIDED FOR INFORMATIONAL AND PRELIMINARY PURPOSES ONLY. DEVELOPER SHALL SUBMIT DESIGN GRADING PLAN TO DOLLAR GENERAL FOR PRIOR APPROVAL. PRELIMINARY GRADING PLAN SHOWN HEREIN DOES NOT INCLUDE ANY PROVISIONS FOR STORM WATER DETENTION OR OTHER POTENTIAL JURISDICTIONAL REQUIREMENTS.
  - A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE COMPLETED FOR THIS PROJECT IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.
  - SIDEWALKS ADJOINING THE BUILDING MUST HAVE A 6" HIGH INTEGRAL CURB.
  - PLAN SHOWN HEREIN DOES NOT ASSUME ANY LEDGES AT BUILDING EXTERIOR FOR BRICK VENEER OF METAL BUILDING WALLS PANELS.
  - PLAN SHOWN HEREIN IS BASED ON PAVEMENT WITHOUT CURBS AND/OR GUTTERS. PLAN IS BASED ON SHEET FLOW TO EARTHEN DITCHES BEYOND THE EDGES OF THE PAVEMENT.
  - SLOPE CONCRETE SIDEWALKS AWAY FROM BUILDING AT A SLOPE OF 1/8" PER FOOT, INCLUDING RECESSED ENTRY.
  - FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.



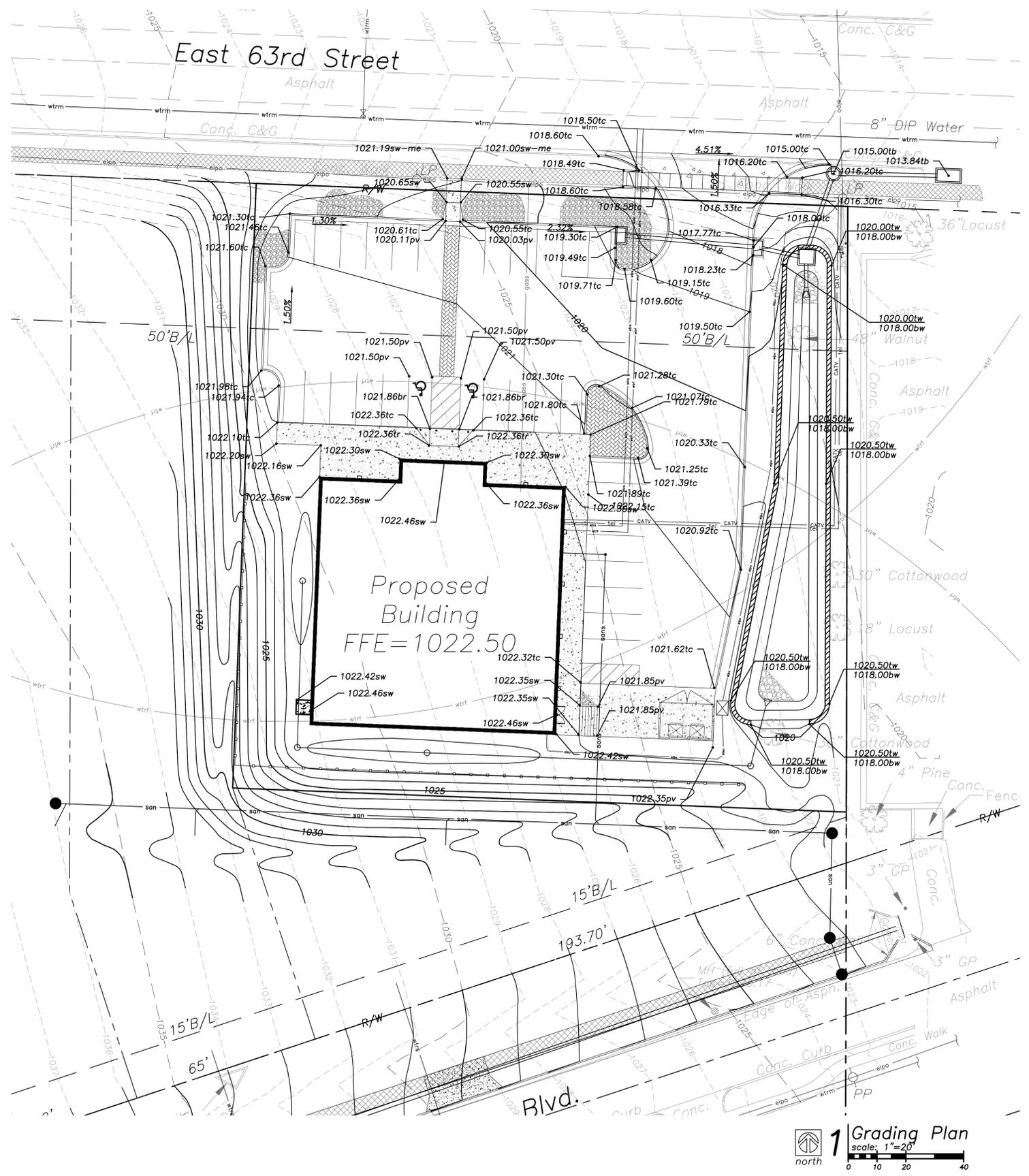
- DRIVEWAY DETAIL NOTES:**
- DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS AND DOLLAR GENERAL REQUIREMENTS SHOWN HEREIN. DRIVEWAY GRADES SHOWN HEREIN ARE DOLLAR GENERAL'S PREFERRED MAXIMUM AND MINIMUM GRADES. IT IS UNDERSTOOD THAT EXCEPTIONS TO THESE REQUIREMENTS MAY BE REQUIRED AT SOME SITES BASED ON ACCEPTABLE GRADING REQUIREMENTS AT DIFFERENT GEOGRAPHIC REGIONS THROUGHOUT THE USA. HOWEVER, ANY EXCEPTIONS SHALL BE SUBMITTED TO DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT FOR PRIOR APPROVAL. SUBMITTAL SHALL INCLUDE DATA INDICATING THAT PROPOSED DESIGN IS IN ACCORDANCE WITH JURISDICTIONAL (CITY, COUNTY, STATE, ETC.) ACCEPTABLE STANDARDS. DATA SHALL INCLUDE DRAWING DETAILS, LOCAL JURISDICTIONAL APPROVALS (LETTERS, PERMITS, COPIES OF LOCAL DESIGN GUIDELINES, ETC.), AND ENGINEERING DATA THAT ILLUSTRATES THAT A TYPICAL DOLLAR GENERAL TRACTOR TRAILER DELIVERY TRUCK CAN ACCESS THE SITE WITHIN NORMAL OR REASONABLE MANEUVERING TOLERANCES. SUBMITTAL SHALL INCLUDE A SIGNED AND PROFESSIONALLY SEALED LETTER FROM A LICENSED CIVIL ENGINEER CERTIFYING THAT THE DESIGN IS IN ACCORDANCE WITH APPLICABLE GOVERNING AGENCY(IES) REQUIREMENTS. DOLLAR GENERAL DELIVERY TRUCK INGRESS AND EGRESS REQUIREMENTS SHOULD BE VERIFIED THROUGH DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT. DEVELOPER SHALL CONTACT DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT TO DETERMINE WHICH TYPE OF DELIVERY TRUCK THE DESIGN SHALL BE BASED UPON.
  - VERIFY JURISDICTIONAL REQUIREMENTS WILL ALLOW THE PAVEMENT TO SLOPE DIRECTLY TO THE ROAD AS SHOWN ON THE DETAIL WHERE THE PARKING LOT IS HIGHER THAN THE ROAD ELEVATION. MAINTAIN POSITIVE SLOPE AWAY FROM THE BUILDING TO PREVENT FLOODING.

**Spot Elevation Legend**

tc	top of curb
pv	pavement
sw	sidewalk
gnd	ground
tw	top of wall
bw	bottom of wall
ts	top of stair
me	match existing
me pv	match existing pavement
tr	top of ramp
br	bottom of ramp
ti	top of island
FFE	finished floor elevation

**Contour Legend**

---	existing major
- - -	existing minor
---	proposed major
- - -	proposed minor

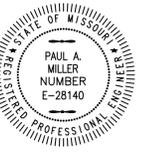


**Grading Plan**  
Scale: 1"=20'  
North

Grading Plan  
**Dollar General**  
9109 East 63rd Street  
Raytown, Missouri

date 10.21.15  
drawn by DAE  
checked by DAE  
revisions  
08.05.16 1

sheet number  
**C03**  
drawing type preliminary  
project number 15101



**Erosion Control Notes**

- Prior to Land Disturbance activities, the following shall occur:
  - Delineate the outer limits of any natural stream corridor designated in accordance with Raytown Design and Construction Manual for construction fencing.
  - Construct a stabilized entrance/parking/delivery area.
  - Install perimeter controls and request the inspection of the preconstruction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
  - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City Inspector and in conformance with the erosion and sediment control plan.
- The site shall comply with all requirements of the Missouri Water Pollution Control and NPDES Stormwater Runoff from Construction Sites General Permit, Raytown Design and Construction Standards Manual including but not limited to:
  - Stabilization of any disturbed area where the land disturbance activity has ceased for more than 14 days.
  - Inspections of erosion and sediment control measures shall be performed to meet or exceed the minimum inspection frequency in the Missouri General Permit. At a minimum, inspections shall be performed during all phases of construction at the following intervals:
    - Once every 14 days.
    - After each precipitation event of 1/2 inch or more - within 24 hours of the event.
  - An inspection log shall be maintained and shall be available for review by the regulatory authority.
  - The erosion and sediment control plan shall be routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
- Unless otherwise noted in the plans, all seeding must conform to the City of Raytown Design & Construction Standards Manual, Current Edition
- Erosion and sediment control shall be provided for the duration of a project. All installed erosion and sediment control devices shall be maintained in a manner that preserves their effectiveness. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, additional or alternate measures that provide effective control shall be required.
- Concrete wash or rinsewater from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run to any existing water body or portion of the storm system. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
- Pollution of streams, lakes, wetlands, drainage ways or storm sewers from fuel, oils, hazardous chemicals, sediment, trash, debris, or other substances resulting from construction activities shall not be allowed. All spills in excess of reportable quantities shall be reported to all of the following within 24 hours of their occurrence:
  - Silt fences and sediment control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
- Required sedimentation basins shall be installed as early as possible during mass grading as indicated in the staging chart. Sediment basins shall be cleaned out when the sediment capacity has been reduced by 20% of its original design volume.
- The above requirements are the responsibility of the permittee for the site. Responsibility may be transferred to another party by the permittee, but the permittee shall remain liable by the City of Raytown if any of the above conditions are not met.

**APWA 5100 Assumptions:**

- From APWA Division 5100 Erosion and Sediment Control, Table 5103-3, Slope-Effect (LS) Values
  - From APWA Division 5100 Erosion and Sediment Control, Table 5103-2, Estimated Soil Erodibility Factor (K)
  - Standard R (Erosive factor) for Kansas City Metropolitan Area Re: APWA Division 5100 Erosion and Sediment Control, Section 5103.3, Verification of Design Performance
  - From APWA Division 5100 Erosion and Sediment Control, Table 5103-4: Controls and Practices Values, subbasin will receive the following: Temporary Sediment Basin - CP value = 0.3
- Cumulative CP for offsite discharge < 0.20  
 Inlet Protection, CP = 0.5 \*  
 Temp. Sediment Basin, CP = 0.3 \*  
 Silt Fence, CP = 0.6 \*  
 Seeding/Sodding, CP = 0.3  
 = 0.5 \* 0.3 \* 0.6 \* 0.3 = 0.027 and conforms with Section 5103.3
- ~ Sediment density assumed 100 pcf.

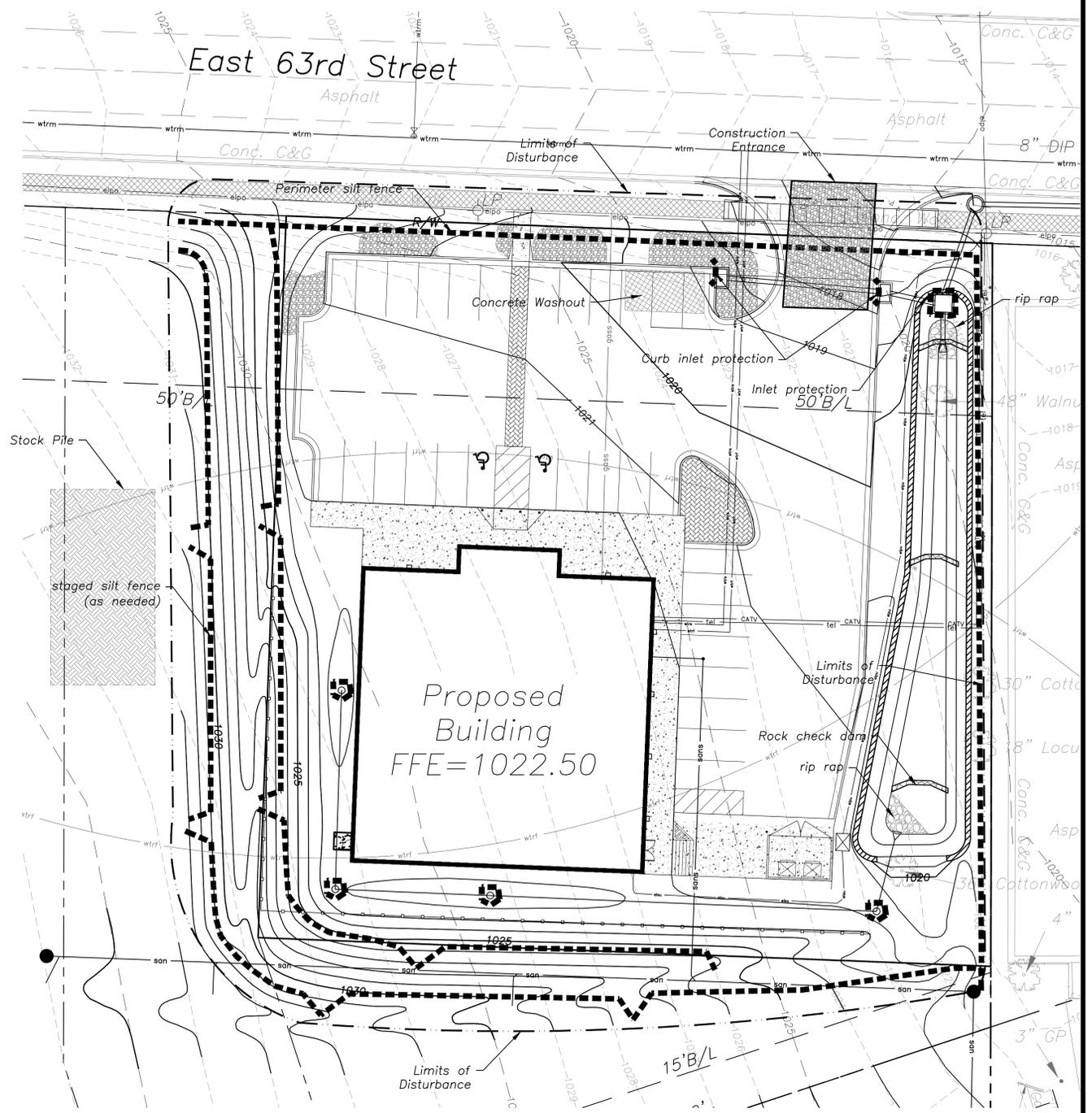
**Typical Land Slope and Distance for Silt Fence**

Land Slope (%)	Maximum Slope Distance* above Fence (feet)
Less than 2	150
2 to 5	100

\* Follow manufacturer's recommendations for proper placing.

**Sequence Of Construction:**

- Install Temporary Construction Entrance For Construction Traffic At Location Shown In The Plans.
- Install Silt Fence, Inlet Protection, And Other Erosion Control Measures.
- Begin Demolition. Rough-grade The Driveways, Parking Lots, And Building Pad. Perform Mass Grading Of The Site.
- Install Storm Sewer, Water, Sanitary Sewer, And Other Utility Lines. When Underground Utility Installation Is Complete, Fine-grade The Paved Areas To Subgrade And Install The Stone Base Course. Construct The Curb And Gutter And Backfill The Curbs. Install The Pavement For The Project.
- As These Phases Progress, Intermittent Storm Water Controls Should Be Installed To Prevent Silt From Washing Off The Construction Site And Entering The Streets, Storm Sewer System, Or Adjacent Properties.
- Finish Grade The Site And Perform Final Cleanup. Spread Topsoil And Sod All Areas Disturbed By Construction That Will Not Be Paved Or Landscape Beds. Refer To The Landscape Plan.
- Install permanent BMP's per design plans.
- Remove Temporary Erosion Control Measures After Permanent Stand Of Vegetation Is Established.



**Utility Contacts**

- Sanitary - City of Raytown  
Phone: (816) 737-6012
- Water - Raytown Water Company  
Phone: (816) 356-0333
- Gas - Missouri Gas Energy  
Phone: (800) 582-1234
- Electric - KCP&L  
Phone: (816) 471-5275
- Cable - Comcast  
Phone: (816) 795-1100
- Phone - AT&T  
Phone: (913)383-4934
- Fiber - Google Fiber  
Phone: (866) 777-7550

**Symbols**

- sanitary manhole
- service cleanout
- rectangular structure
- circular structure
- fire hydrant
- water valve
- water meter
- backflow preventer
- natural gas meter
- service transformer (pad mount)
- primary switch gear
- electric pole
- private site lighting
- street light
- pedestrian street light
- cable/phone/data junction box

**Utility Legend**

- existing
- proposed

**Linetypes**

- sanitary main
- sanitary service
- storm sewer (solid wall)
- storm sewer (solid wall)
- storm sewer (perforated)
- storm sewer (perforated)
- water main
- water service (fire)
- water service (domestic)
- water service (irrigation)
- natural gas main
- natural gas service
- overhead primary electric
- underground primary electric
- overhead secondary electric
- underground secondary electric
- underground site electric

**Property Legend**

- right of way
- property lines
- proposed
- existing
- easement
- setback
- section line

**Grading Legend**

- existing major contour
- existing minor contour
- proposed major contour
- proposed minor contour

**Erosion Control Legend**

- silt fence
- inlet protection
- limits of disturbance
- topsoil stockpile/staging area
- construction entrance
- rock check dam
- concrete washout area
- rip rap

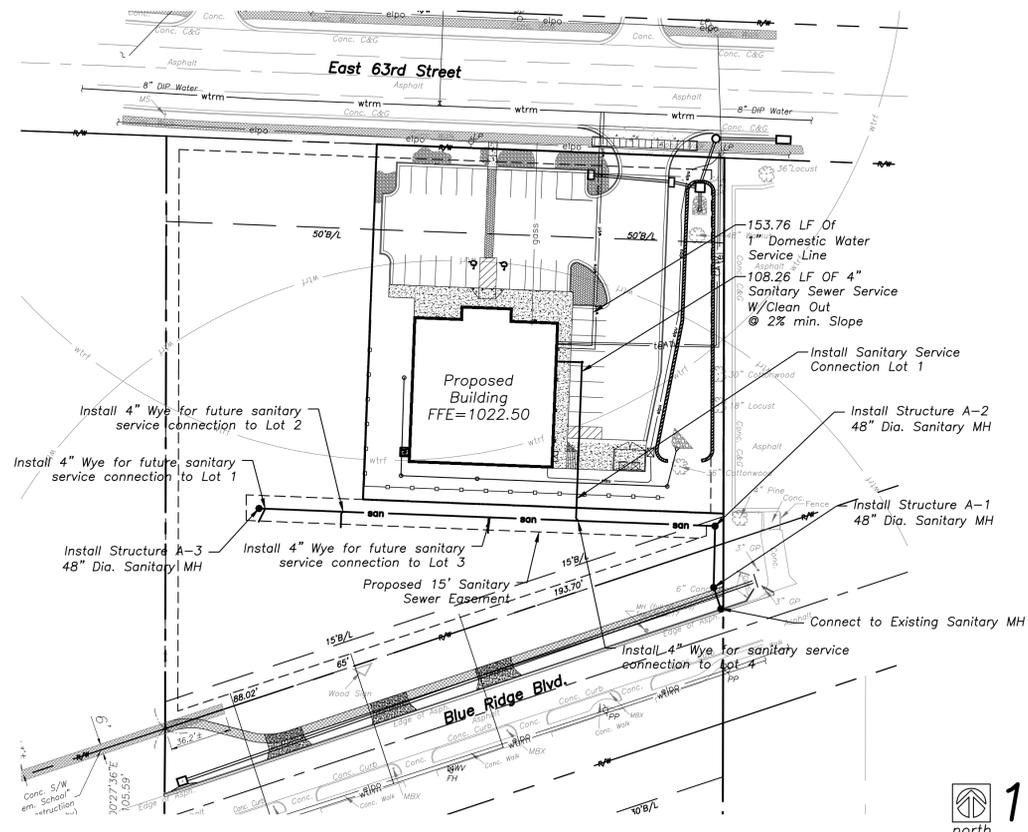
**1** Erosion Control Plan  
scale: 1"=20'  
north



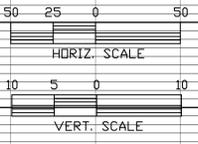
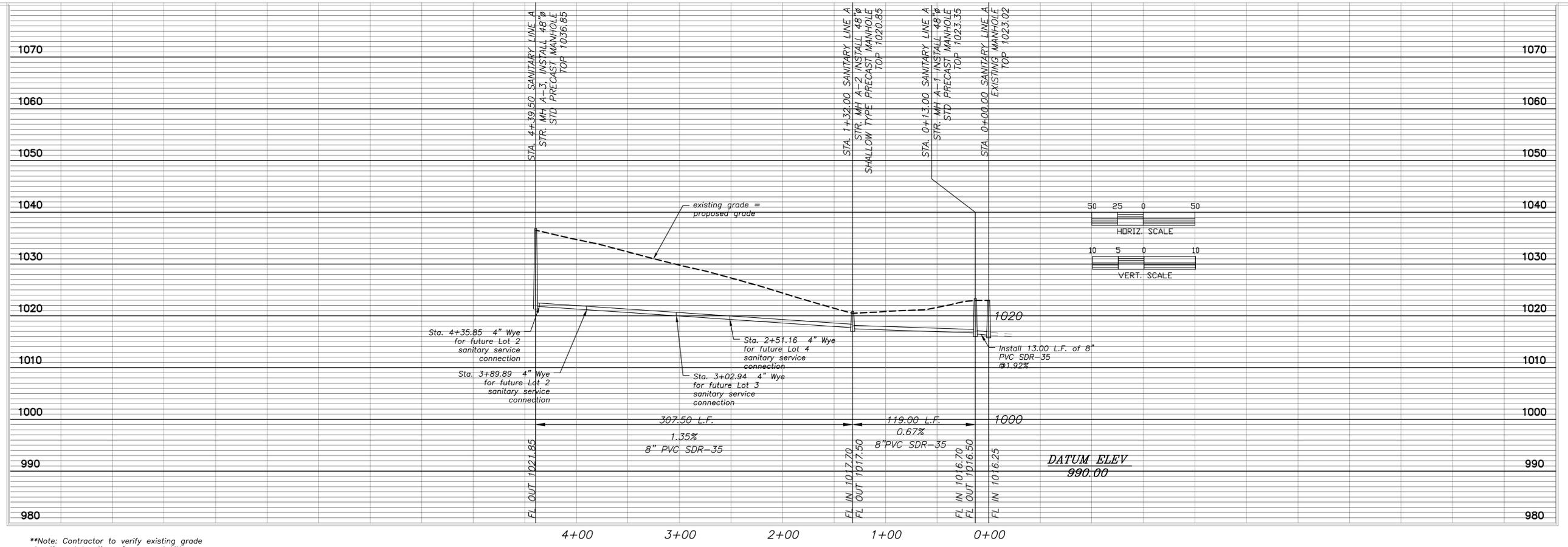
Erosion Control Plan  
**Dollar General**  
9109 East 63rd Street  
Raytown, Missouri

date 10.21.15  
drawn by DAE  
checked by DAE  
revisions  
08.05.16 1

sheet number  
**C04**  
drawing type preliminary  
project number 15101



**Sanitary Main Plan & Profile**  
1"=50' (H) 1"=10' (V)

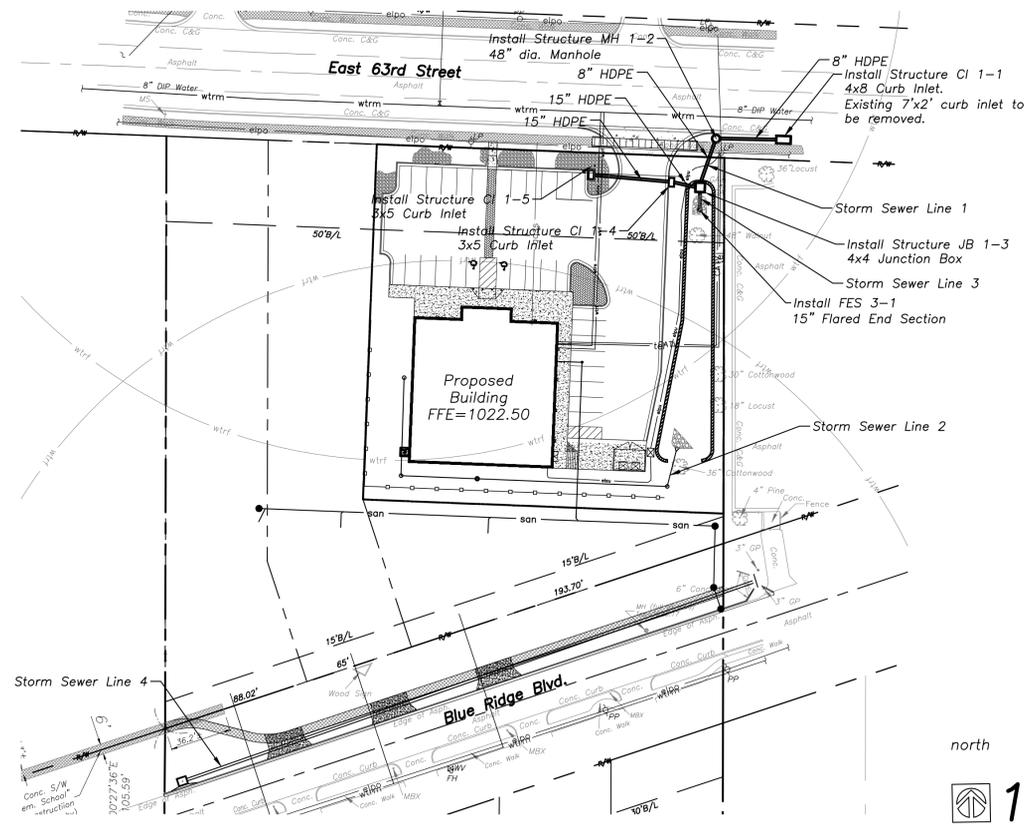
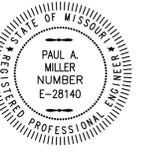


\*\*Note: Contractor to verify existing grade elevation at location of proposed MHs

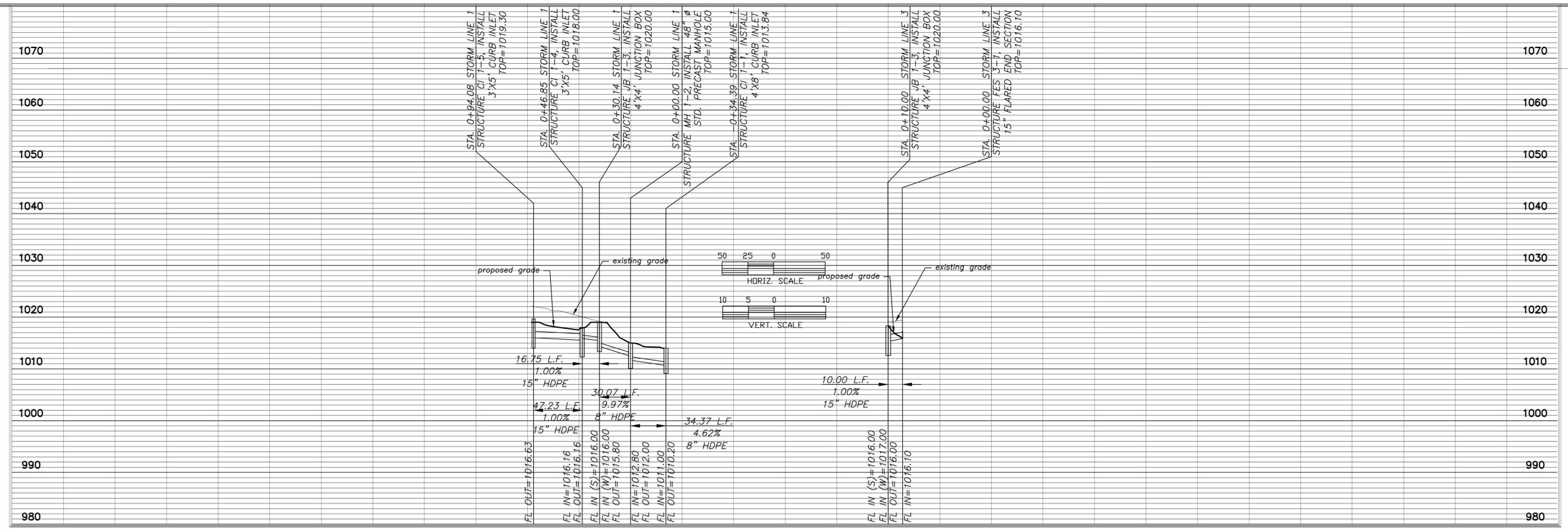
Sanitary Sewer Plan & Profile  
**Dollar General**  
9109 East 63rd Street  
Raytown, Missouri

date: 10.21.15  
drawn by: DAE  
checked by: DAE  
revisions: 1  
08.05.16





1  
Storm Sewer Plan & Profile  
1"=50' (H) 1"=10' (V)



\*\*Note: Contractor to verify existing grade elevation at location of proposed MHS

Storm Sewer Plan & Profile  
**Dollar General**  
9109 East 63rd Street  
Raytown, Missouri

date 06.16.16  
drawn by DAE  
checked by DAE  
revisions 08.05.16 1

sheet number  
**C07**  
drawing type preliminary  
project number 15101



**LANDSCAPING NOTES**

**A. GRADING NOTES:**

- CONTRACTOR TO GRADE ALL AREAS SHADED IN THE PLAN, INCLUDING ROW.
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL SOIL TO A DEPTH OF 4" MINIMUM.
- REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- REFER TO SHEET C2 FOR MAXIMUM SLOPES.

**B. LAWN SEEDING AND SODDING NOTES:**

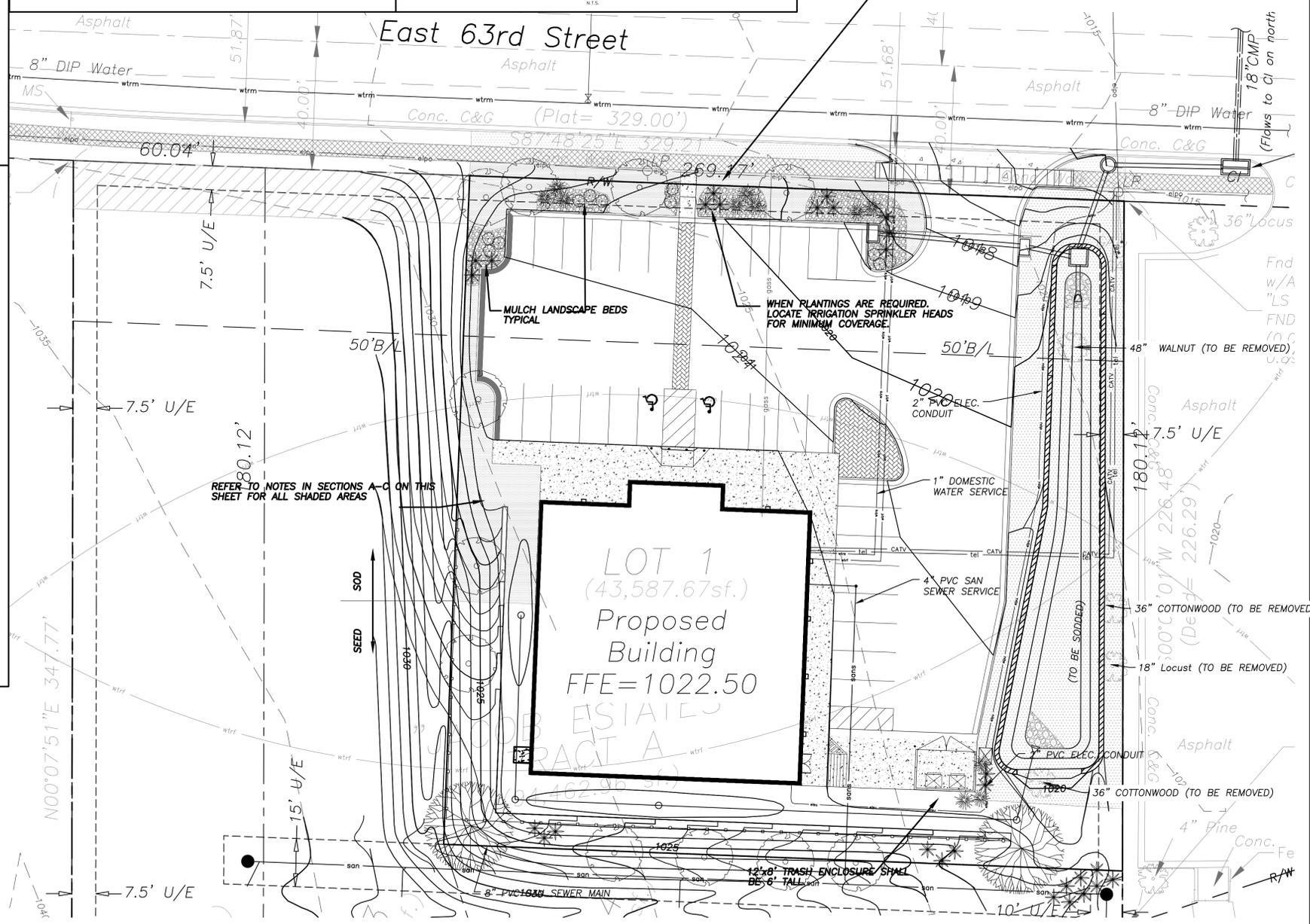
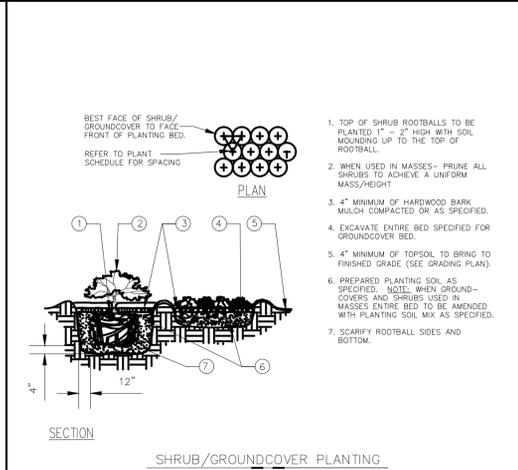
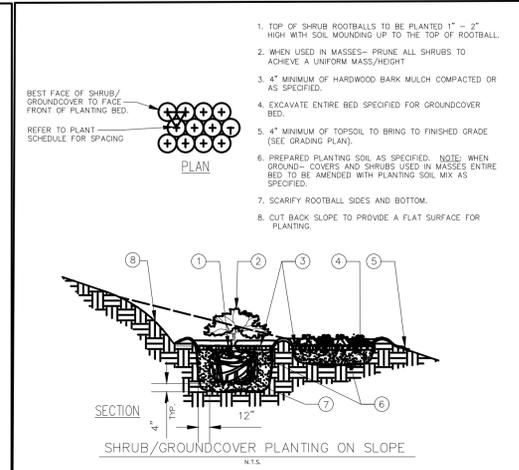
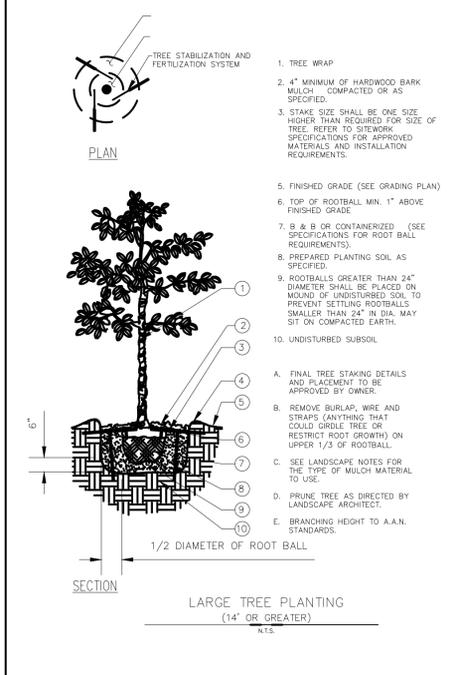
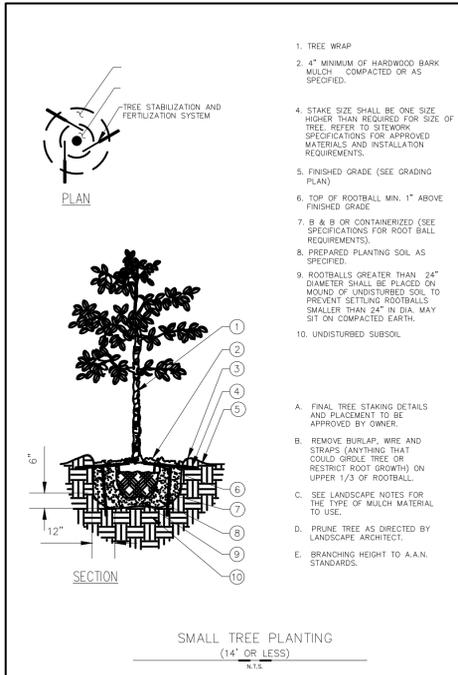
- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
- AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
- SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/4 TO 1/2 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
- STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

**C. LANDSCAPE NOTES:**

- PROVISIONS FOR LOCAL AND/OR REGIONAL REQUIREMENTS, INCLUDING IRRIGATION, ARE NOT SHOWN ON THESE DRAWINGS. DEVELOPER SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH JURISDICTION REQUIREMENTS.
- ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
- ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
- PRIOR TO FINAL ACCEPTANCE OF STORE BY DOLLAR GENERAL, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH, AND MEET ALL REQUIREMENTS OUTLINED IN SECTIONS A-C ABOVE.
- MAXIMUM SLOPE CUTS SHALL NOT EXCEED 4:1. ALL DISTURBED GRADES GREATER THAN 8:1 SHALL BE STABILIZED BY SODDING. SODDING PINS ARE TO BE USED ON ALL 4:1 GRADES.
- VEGETATION AT ENTRY SHOULD BE LOW TO ENSURE VISIBILITY OF STORE.
- IF TREES ARE REQUIRED IN FRONT OF BUILDING, SELECT SMALL LEAFED, NON DENSE SPECIES THAT WILL NOT INTERFERE WITH THE VISIBILITY OF STORE. THE SPACING SHALL CREATE VISUAL CORRIDORS TO STORE.

**D. IRRIGATION NOTES:**

- ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
- A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
- LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB.



**Notes**

The contractor shall make every effort to save all existing trees along the east property line with the exception of the 48" walnut as shown on the plans. No additional trees exist within the project site.

The proposed trash enclosure shall be constructed using the same materials and color to match the building.

All disturbed grades greater than 8:1 shall be stabilized by sodding. Sodding pins are to be used on all grades greater than 4:1.

All construction shall follow the City of Raytown Design and Construction Manual.

DEVELOPER IS RESPONSIBLE FOR CLEANING/CLEARING/ IMPROVING LANDSCAPING IN R.O.W.

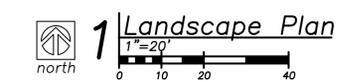
**plant schedule**

item	qty.	common name	botanical name	size & condition
shade tree	1	sugar maple	acer saccharum	2" caliper (min.)
ornamental	2	eastern redbud	cercis canadensis	1.5" caliper (min.)
ornamental grass	3	purple fountain	pennisetum setaceum rubrum	1 - 3 gallon / cont.
shrub	4	shrubby st. johnswart	hypericum prolificum l.	1 - 3 gallon / cont.
seed	5	burgundy switch grass	panicum virgatum	24" O.C.

Landscape Plan  
**Dollar General**  
9109 East 63rd Street  
Raytown, Missouri

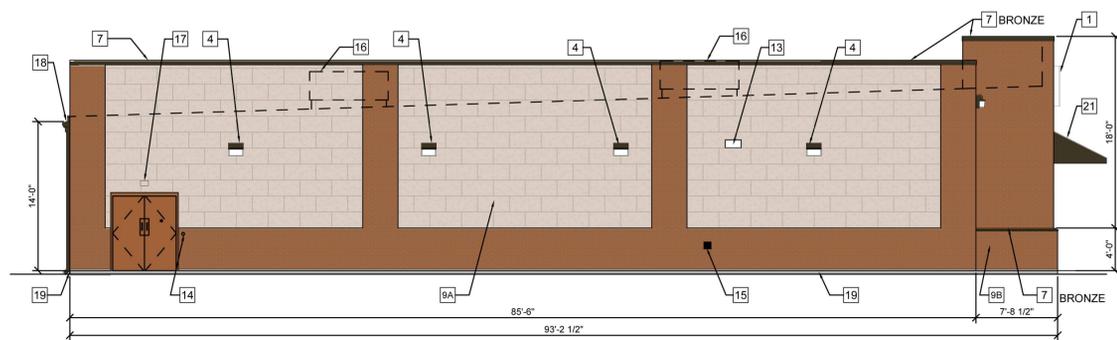
date 10.21.15  
drawn by DAE  
checked by DAE  
revisions 1  
08.05.16

sheet number  
**L01**  
drawing type landscape plan  
project number 15101

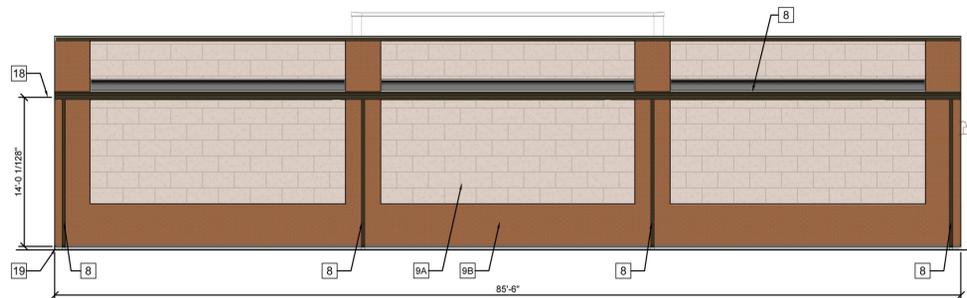




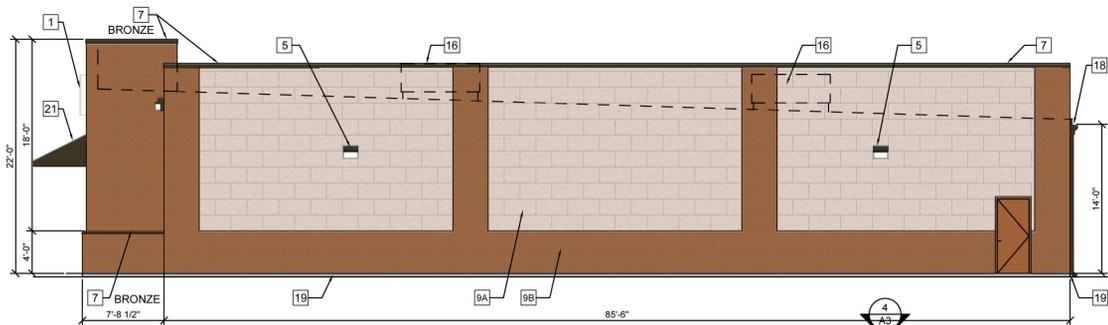
1 FRONT ELEVATION  
1/8" = 1'-0"



3 SIDE ELEVATION  
1/8" = 1'-0"



2 BACK ELEVATION  
1/8" = 1'-0"



4 SIDE ELEVATION  
1/8" = 1'-0"



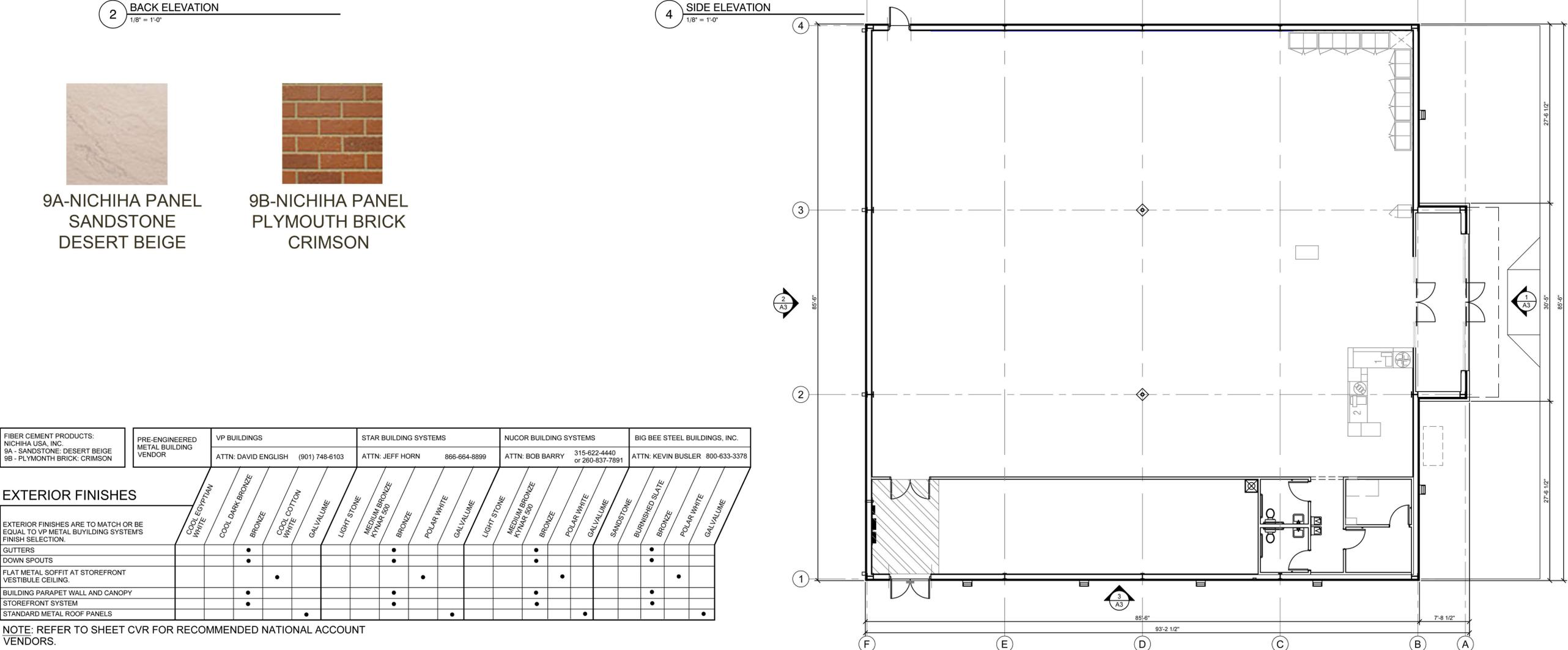
9A-NICHIHA PANEL  
SANDSTONE  
DESERT BEIGE



9B-NICHIHA PANEL  
PLYMOUTH BRICK  
CRIMSON

ELEVATION KEYED NOTES

- 1 SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- 3 WALL PACK. 16'-6" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 WALL PACK. 12'-0" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 5 WALL PACK. (ALTERNATE PARKING LIGHT) REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. REQUIRED ONLY IF THERE IS PARKING THIS SIDE OF BUILDING.
- 7 TRIM/COPING/FLASHING - COLOR AS NOTED OR REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
- 8 GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 9A NICHIHA PANELS - SANDSTONE: DESERT BEIGE
- 9B NICHIHA PANELS - VINTAGE BRICK: PLYMOUTH BRICK CRIMSON
- 10 STANDING SEAM METAL ROOF. GALVALUME FINISH.
- 13 VENT FOR BATHROOM EXHAUST. REFER TO M01 FOR ADDITIONAL INFORMATION.
- 14 DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- 15 WALL HYDRANT. REFER TO P01 FOR ADDITIONAL INFORMATION.
- 16 HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- 17 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- 18 MINIMUM GUTTER SLOT HEIGHT IS 14'-0" A.F.F.
- 19 FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- 20 IN NORTHERN CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
- 21 METAL AWNING BY PEMB MANUFACTURER. REFER TO STRUCTURAL SHEETS FOR COLOR.
- 22 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.



FIBER CEMENT PRODUCTS: NICHIHA USA, INC. 9A - SANDSTONE: DESERT BEIGE 9B - PLYMOUTH BRICK: CRIMSON	PRE-ENGINEERED METAL BUILDING VENDOR	VP BUILDINGS ATTN: DAVID ENGLISH (901) 748-6103	STAR BUILDING SYSTEMS ATTN: JEFF HORN 866-664-8899	NUCOR BUILDING SYSTEMS ATTN: BOB BARRY 315-622-4440 or 260-837-7891	BIG BEE STEEL BUILDINGS, INC. ATTN: KEVIN BUSLER 800-633-3378
EXTERIOR FINISHES					
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEM'S FINISH SELECTION.					
GUTTERS					
DOWN SPOUTS					
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE CEILING.					
BUILDING PARAPET WALL AND CANOPY STOREFRONT SYSTEM					
STANDARD METAL ROOF PANELS					

NOTE: REFER TO SHEET CVR FOR RECOMMENDED NATIONAL ACCOUNT VENDORS.

Robert E. Walker, IV  
Ohio Reg. # - 0914817  
Exp. - 12/31/15

**Robert E. Walker, IV  
Architect**

2229 FIRST AVE. SOUTH  
SUITE 110  
BIRMINGHAM, Alabama  
35233  
T-205.254.3212  
F-205.254.3269

**DG**

**DOLLAR GENERAL  
BUILDING**

Home Road  
Grove City, OH  
Franklin County

**CONSTRUCTION  
DOCUMENTS**

PROJECT NO.: 8006.582  
ISSUED: 06/26/15

EXTERIOR  
ELEVATIONS

**A3**

**CITY OF RAYTOWN  
Request for Board Action**

**Date:** August 11, 2016  
**To:** Mayor and Board of Aldermen  
**From:** Teresa Henry, City Clerk

**Bill No.:** 6417-16  
**Section No.:** XIII

**Department Head Approval:** \_\_\_\_\_

**Finance Director Approval:** \_\_\_\_\_ (only if funding requested)

**City Administrator Approval:** \_\_\_\_\_



**Action Requested:** Board of Aldermen approval to amend Chapter 50 of the Raytown City Code Section 50-38(a) which relate to the Establishment and membership of the Planning Commission in the City of Raytown.

**Recommendation:** Staff recommends approval of the proposed amendment to reflect RSMo 89,320.1 as amended.

**Analysis:** The current Section of the code was adopted per Ordinance No. 139 on July 19, 1966. Since that time, The Revised Statues of Missouri, Chapter 89, Section 89.320.1 amended the composition of the Planning Commission in 1999.

**Alternatives:** N/A

**Budgetary Impact:**

**Not Applicable**

**Additional Reports Attached:** RSMo Section 89.320.1 and a Copy of Current Section 50-38 of the Raytown City Code.

**AN ORDINANCE AMENDING CHAPTER 50, SECTION 50-38 OF THE CITY OF RAYTOWN CODE OF ORDINANCES RELATING TO THE ESTABLISHMENT AND MEMBERSHIP OF THE PLANNING COMMISSION**

**WHEREAS**, the City of Raytown has previously adopted Chapter 50 of the Code of Ordinances relating to Zoning; and

**WHEREAS**, the Board of Aldermen have determined it is in the best interest of the citizens of Raytown to amend Chapter 50, Section 50-38 (a) to be consistent with Chapter 89, Section 89.320.1 of the Revised Statutes of Missouri as amended and applicable;

**NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:**

**SECTION 1– AMENDMENT OF CITY CODE CHAPTER 50, SECTION 50-38.**

Section 50-38, is amended to read as follows:

(a) Created. There shall be a planning commission, also known as “the planning and zoning commission,” and as “the commission” shall consist of not more than fifteen nor less than seven members, including:

1. The mayor, if the mayor chooses to be a member;
2. A member of the council selected by the council, if the council chooses to have a member serve on the commission; and
3. Not more than fifteen nor less than five citizens appointed by the mayor and approved by the council. All citizen members of the commission shall serve without compensation. The term of each of the citizen members shall be for four years, except that the terms of the citizen members first appointed shall be for varying periods so that succeeding terms will be staggered. Any vacancy in a membership shall be filled for the unexpired term by appointment as aforesaid. The council may remove any citizen member for cause stated in writing and after public hearing.

**SECTION 2 – REPEAL OF ORDINANCES IN CONFLICT.** All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

**SECTION 3 – SEVERABILITY CLAUSE.** The provisions of this ordinance are severable and if any provision hereof is declared invalid, unconstitutional or unenforceable, such determination shall not affect the validity of the remainder of this ordinance.

**SECTION 4 – EFFECTIVE DATE.** This ordinance shall be in full force and effect from and after the date of its passage and approval.

**BE IT REMEMBERED** that the above was read two times by heading only, **PASSED AND ADOPTED** by a majority of the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Jackson County, Missouri, this \_\_\_\_ day of September, 2016.

\_\_\_\_\_  
Michael McDonough, Mayor

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Teresa M. Henry, City Clerk

\_\_\_\_\_  
Joe Willerth, City Attorney

# Missouri Revised Statutes

## Chapter 89 Zoning and Planning

[←89.310](#)

### Section 89.320.1

[89.330→](#)

August 28, 2015

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#### **Planning commission--membership--terms--vacancy--removal.**

89.320. The planning commission of any municipality shall consist of not more than fifteen nor less than seven members, including:

(1) The mayor, if the mayor chooses to be a member;

(2) A member of the council selected by the council, if the council chooses to have a member serve on the commission; and

(3) Not more than fifteen nor less than five citizens appointed by the mayor and approved by the council. All citizen members of the commission shall serve without compensation. The term of each of the citizen members shall be for four years, except that the terms of the citizen members first appointed shall be for varying periods so that succeeding terms will be staggered. Any vacancy in a membership shall be filled for the unexpired term by appointment as aforesaid. The council may remove any citizen member for cause stated in writing and after public hearing.

(L. 1963 p. 146 § 3, A.L. 1997 H.B. 831, A.L. 1999 H.B. 853)

[Top](#)



Missouri General Assembly

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Sec. 50-38. - Establishment and membership.

- (a) *Created.* There shall be a planning commission, also known as "the planning and zoning commission," and as "the commission," to consist of not more than 15 members, including the mayor, a member of the board of aldermen selected by the board of aldermen, the city engineer or similar city official and not more than 12 or less than four citizens appointed by the mayor and approved by the board of aldermen.
- (b) *Term.* The term of each of the citizen members shall be for four years, except that the terms of the citizen members first appointed shall be for varying periods so that succeeding terms will be staggered. Any vacancy in a membership shall be filled for the unexpired term by appointment as aforesaid.
- (c) *Compensation.* All members of the planning commission shall serve without compensation.
- (d) *Dismissal.* The board of aldermen may remove any citizen member for cause stated in writing and after public hearing.

(Code 1969, § 16-2; Ord. No. 139, § 2, 7-19-1966)